

## PROJECT TEAM

### DEVELOPER

#### URBAN INVESTMENT PARTNERS

140 Q STREET NE  
SUITE 140B  
WASHINGTON, DC 20002  
202-248-6004

### ARCHITECT

#### HICKOK COLE ARCHITECTS

1023 31st STREET, NW  
WASHINGTON, DC 20007  
202-667-9776

### CIVIL ENGINEER & LANDSCAPE ARCHITECT

#### WILES MENSCH CORPORATION

11860 SUNRISE VALLEY DRIVE  
SUITE 200  
RESTON, VA 20191  
703-391-7600

### MECHANICAL, ELECTRICAL & PLUMBING ENGINEER

#### POTOMAC ENERGY GROUP, INC.

2901 TELESTAR COURT  
SUITE 400  
FALLS CHURCH, VA 22042  
703-683-5000

### STRUCTURAL ENGINEER

#### FMC & ASSOCIATES, LLC

515 M STREET SE, SUITE 106  
WASHINGTON, DC 20003  
202-863-0911

### ZONING ATTORNEY

#### GOULSTON & STORRS

1999 K STREET NW  
SUITE 500  
WASHINGTON, DC 20006  
202-721-0011

## DRAWING LIST

#	SHEET NAME
A-00	COVER SHEET
A-01	ZONING DATA
A-02	ZONING BOUNDARY SITE PLAN
A-03	COMPREHENSIVE PLAN FUTURE USE MAP
A-04	AERIAL PLAN
A-05	SITE & CONTEXT PHOTOS
A-06	SITE & CONTEXT PHOTOS
A-07	ARCHITECTURAL BLOCK & CIRCULATION PLAN: ALLEY LEVEL
A-08	ARCHITECTURAL BLOCK & CIRCULATION PLAN: STREET LEVEL
A-09	DIMENSIONED SITE PLAN
A-10	SITE ELEVATION
A-11	SITE SECTION: EAST-WEST
A-12	SITE SECTION: NORTH-SOUTH
A-13	FLOOR PLANS: LEVEL P3 & P2
A-14	FLOOR PLANS: LEVEL P1 & 01-N
A-15	FLOOR PLANS: LEVEL 01-S & 02
A-16	FLOOR PLANS: LEVEL 03 & 04
A-17	FLOOR PLANS: LEVEL 05 & 06
A-18	FLOOR PLANS: LEVEL 07 & 08
A-19	FLOOR PLANS: ROOF LEVEL & UPPER ROOF
A-20	SIDE YARD DIAGRAMS
A-21	REAR YARD DIAGRAMS
A-22	LOT OCCUPANCY DIAGRAMS
A-23	PENTHOUSE SETBACK DIAGRAMS
A-24	INTENTIONALLY BLANK
A-25	INCLUSIONARY ZONING DIAGRAMS
A-26	INCLUSIONARY ZONING DIAGRAMS
A-27	SHADOW STUDIES - PROPOSED DESIGN
A-28	SHADOW STUDIES - BY RIGHT
A-29	INTENTIONALLY BLANK
A-30	PERSPECTIVE: NORTH ON WISCONSIN AVE.
A-31	PERSPECTIVE: SOUTH ON WISCONSIN AVE.
A-32	PERSPECTIVE: SOUTH ON WISCONSIN AVE. - RESIDENTIAL ENTRY
A-33	PERSPECTIVE: SOUTH ON WISCONSIN AVE. - RETAIL ENTRY
A-34	PERSPECTIVE: AERIAL ALLEY FACADE
A-35	PERSPECTIVE: AERIAL ROOF TERRACE
A-36	PERSPECTIVE: NORTH FACADE FROM WISCONSIN AVE. - EXISTING
A-37	PERSPECTIVE: NORTH FACADE FROM WISCONSIN AVE. - BY RIGHT
A-38	STREET VIEW: BRANDYWINE ROAD & RIVER ROAD
A-39	STREET VIEW: 42ND STREET & RIVER ROAD
A-40	STREET VIEW: CHESEPEAKE & 42ND STREET
A-41	BUILDING ELEVATION: EAST
A-42	BUILDING ELEVATION: SOUTH
A-43	BUILDING ELEVATION: REAR ALLEY AT SOUTH
A-44	BUILDING ELEVATION: REAR ALLEY AT NORTH
A-45	BUILDING ELEVATION: NORTH
A-46	BUILDING ELEVATION: NORTH AT SOUTH TOWER
A-47	BUILDING ELEVATION: RETAIL COURTS
A-48	BUILDING ELEVATION: RESIDENTIAL ENTRY
A-49	PARTIAL SECTION AND ELEVATION: RESIDENTIAL ENTRY BAY
A-50	PARTIAL SECTION AND ELEVATION: RETAIL BAY
A-51	PARTIAL SECTION AND ELEVATION: WEST ELEVATION
A-52	BUILDING MATERIALS
A-53	LEED CHECKLIST
L-1	OVERALL SITE PLAN
L-2	ENLARGED SITE PLAN
L-3	ENLARGED SITE PLAN
L-4	SITE IMAGES
L-5	PLANTING IMAGES
L-6	ROOF PLAN
L-7	GREEN AREA RATIO PLAN
L-8	GREEN AREA RATIO SCORECARD
C-01	EXISTING CONDITIONS PLAN
C-02	EROSION AND SEDIMENT CONTROL PLAN
C-03	SITE PLAN
C-04	UTILITY PLAN
C-05	EROSION AND SEDIMENT DETAILS
C-06	SITE DETAILS
C-07	UTILITY DETAILS
C-08	STORMWATER MANAGEMENT PLAN



## 4620 WISCONSIN AVENUE, NW

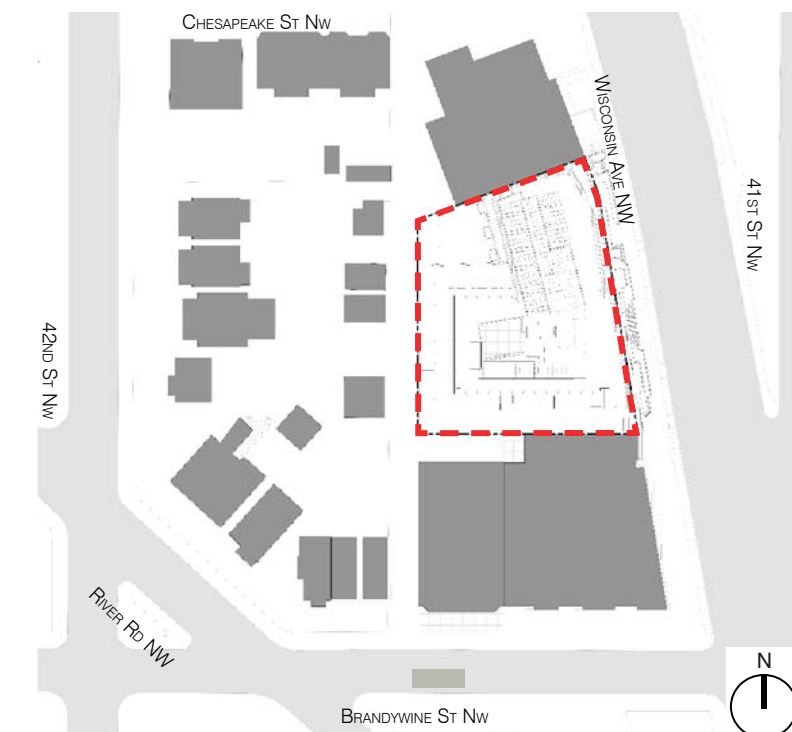
4620-4624 WISCONSIN AVENUE, NW

SQUARE 1732, LOT 0045+0049

WASHINGTON, DC 20016

## SUPPLEMENTAL PRE-HEARING SUBMISSION

SEPTEMBER 08, 2017



# ZONING DATA

## SQUARE 1732, LOTS 0045, 0049



4620 WISCONSIN AVENUE NW

Square 1732  
Washington DC 20016



### ZONING

DCMR 11  
ZONING REGULATION OF 2016

LOT INFORMATION  
CURRENT ZONE: MU-4(C-2-A)  
PROPOSED ZONE: MU-7 (C-3-A)  
SQUARE 1732, LOTS 0045, 0049

AREA AND DIMENSION  
TOTAL LOT AREA = 23,741 SQFT

### REQUESTED AREAS OF RELIEF

REAR YARD:  
ADDITION OF NEW EXTERIOR WALL CONSTRUCTED ON EXISTING GARAGE RAMP;  
SEE A-21 FOR DIAGRAMS.

PENTHOUSE UNIFORMITY:  
ELEVATOR OVERRUN HEIGHTS REQUIRE FLEXIBILITY FROM UNIFORMITY PROVISION; SEE A-23 FOR DIAGRAMS.

LOT OCCUPANCY:  
LEVEL 01: CONTAINING BOTH RETAIL AND RESIDENTIAL USES OCCUPIES THE LOT AT 89.9% COVERAGE.  
SEE A-22 FOR DIAGRAMS.

### LOT OCCUPANCY

DCMR 11: SUBTITLE G, SECTION 404.1

TOTAL LOT AREA: 23,741 SQFT  
GFA @ GROUND LEVEL: 21,365 SQFT

ALLOWED RETAIL OCCUPANCY: 100%  
PROPOSED OCCUPANCY @ GROUND LEVEL: 89.9%

ALLOWED RESIDENTIAL OCCUPANCY: 80%  
PROPOSED OCCUPANCY @ GROUND LEVEL: 89.9%

PROPOSED RESIDENTIAL OCCUPANCY @ 2ND FLOOR: 66%

PROPOSED RESIDENTIAL OCCUPANCY @ 5TH FLOOR: 62%

PROPOSED RESIDENTIAL OCCUPANCY @ 8TH FLOOR: 57%

### GROSS FLOOR AREA (G.F.A.)

LEVEL	GROSS FLOOR AREA*
LEVEL 00-P1	10,869 SF
LEVEL 01	21,278 SF**
LEVEL 02	15,635 SF
LEVEL 03	15,455 SF
LEVEL 04	15,455 SF
LEVEL 05	14,775 SF
LEVEL 06	14,775 SF
LEVEL 07	14,085 SF
LEVEL 08	13,615 SF
TOTAL	135,942 SF

\* GFA COUNTED TOWARDS FAR

\*\*TOTAL RETAIL SF: 10,984 SF

### FLOOR AREA RATIO (F.A.R.)

DCMR 11: SUBTITLE G, SECTION 402.1  
SUBTITLE X, SECTION 303.3 & 303.4

ALLOWED:

RESIDENTIAL ALLOWED:	4.0
WITH IZ BONUS (20%)	4.8
WITH PUD BONUS (20%)	5.76
RETAIL ALLOWED:	2.5
WITH PUD BONUS (34%)	3.35
TOTAL MAX FAR ALLOWED	5.76

PROPOSED:  
RETAIL F.A.R.: 0.46  
RESIDENTIAL F.A.R.: 5.26

TOTAL BUILDING F.A.R.: 5.73

### MAXIMUM BUILDING HEIGHT

DCMR 11: SUBTITLE G, SECTION 403.1  
SUBTITLE X, SECTION 303.7

ALLOWED: 90'-0" (PUD)  
PROPOSED: 88'-4"

MEASURING POINT: 384'-0"  
BUILDING HEIGHT: 472'-4"

### MAXIMUM PENTHOUSE HEIGHT

DCMR 11: SUBTITLE G, SECTION 403.2  
SUBTITLE X, SECTION 303.18

ALLOWED: 20'-0"  
PROPOSED: 10'-0" AT STAIR A ROOF ACCESS  
15'-1 1/2" AT ELEVATOR & ENCLOSED VESTIBULE  
5'-2" AT ELEVATOR OVERRUN

ROOF LEVEL: 472'-4"

MAINTAIN 1:1 SETBACK AT BUILDING FACE.  
SEE A-23 FOR PENTHOUSE SETBACK DIAGRAMS

	PH HEIGHT	DISTANCE FROM BUILDING FACE	COMPLIANT:
STAIR A ROOF ACCESS	10'-0"	11'-2"	Y
ELEVATOR & VESTIBULE	15'-1 1/2"	26'-1"	Y
ELEVATOR OVERRUN	5'-2"	39'-7 1/2"	N

### REAR YARD

DCMR 11: SUBTITLE G, SECTION 405.3  
SEE A-21 FOR REAR YARD DIAGRAMS

	REQUIRED REAR YARD (BUILDING HEIGHT: 103'-8" 2.5'1/2" VRT RISE):	PROPOSED REAR YARD:	COMPLIANT:
REAR - 1'	21'-7"	10'-0"	Y
REAR - 2'		21'-11"	Y
REAR - 3**		11'-11"	N
REAR - 4**		21'-10"	Y
REAR - 5**		24'-10"	Y
REAR - 6**		24'-10 1/2"	Y

\*MEASURED FROM CENTERLINE OF ALLEY; BUILDING MEASURED UNDER 25' HORIZONTAL PLANE.

\*\* MEASURED FROM PROPERTY LINE

\*\*\*MEASURING POINT OF ALLEY: 370'-10 1/2"

### SIDE YARD

DCMR 11: SUBTITLE G, SECTION 406  
SEE A-20 FOR SIDEYARD DIAGRAMS

	REQUIRED SIDEYARD (BUILDING HEIGHT 88'-4" VRT RISE):	PROPOSED SIDE YARD	COMPLIANT
SIDE - 1	14'-10"	16'-8"	Y
SIDE - 2		21'-8"	Y

### VEHICLE PARKING

DCMR 11: SUBTITLE C, SECTION 701.5  
SUBTITLE C, SECTION 702.1(a)

RESIDENTIAL UNITS  
146 TOTAL UNITS

RETAIL SQFT (INCLUDING CELLAR SPACES)  
10,984 SF

	REQUIRED	PROPOSED
PROJECT	58	58

COMPACT SPACES

DCMR 11: SUBTITLE C, 712.3  
50% MAX. COMPACT SPACE  
ALLOWED: 50%  
PROVIDED: 31% (18 COMP / 58 TOTAL)

ACCESSIBLE PARKING SPACES

IBC 2012, TABLE 1106.1:  
REQUIRED: 3 ACCESSIBLE SPACES  
PROVIDED: 3 ACCESSIBLE SPACES

VAN SPACE

IBC 2012, 1106.5: "FOR EVERY 6 OR FRACTION OF 6 ACCESSIBLE SPACES, AT LEAST ONE SHALL BE A VAN-ACCESSIBLE PARKING SPACE."

REQUIRED: 1 VAN SPACE  
PROVIDED: 1 VAN SPACES

### BICYCLE PARKING

DCMR 11: SUBTITLE C, SECTION 802.1

	REQUIRED	PROPOSED
RESIDENTIAL- LONG TERM	49 (1 PER 3 RES UNITS)	60
SHORT TERM	7 (IN PUBLIC SPACE) (1 PER 20 RES UNITS)	7
RETAIL- LONG TERM	1 (1 PER 10,000 SQFT)	1*
SHORT TERM	3 (IN PUBLIC SPACE) (1 PER 3,500 SQFT)	3

\*LONG TERM RETAIL PARKING LOCATED IN P1 BIKE ROOM AND INCLUDED IN TOTAL BIKE COUNT OF 60 TOTAL

### LOADING

DCMR 11: SUBTITLE C, SECTION 901.1

RESIDENTIAL:  
REQUIRED: 1 LOADING BERTH  
1 LOADING PLATFORM (100 SQFT)  
1 SERVICE SPACE

RETAIL:  
REQUIRED: 1 LOADING BERTH (20,000 SQFT > X)  
1 LOADING PLATFORM (100 SQFT)

PROVIDED: PROJECT WILL ADOPT MORE STRINGENT RESIDENTIAL LOADING REQUIREMENTS:

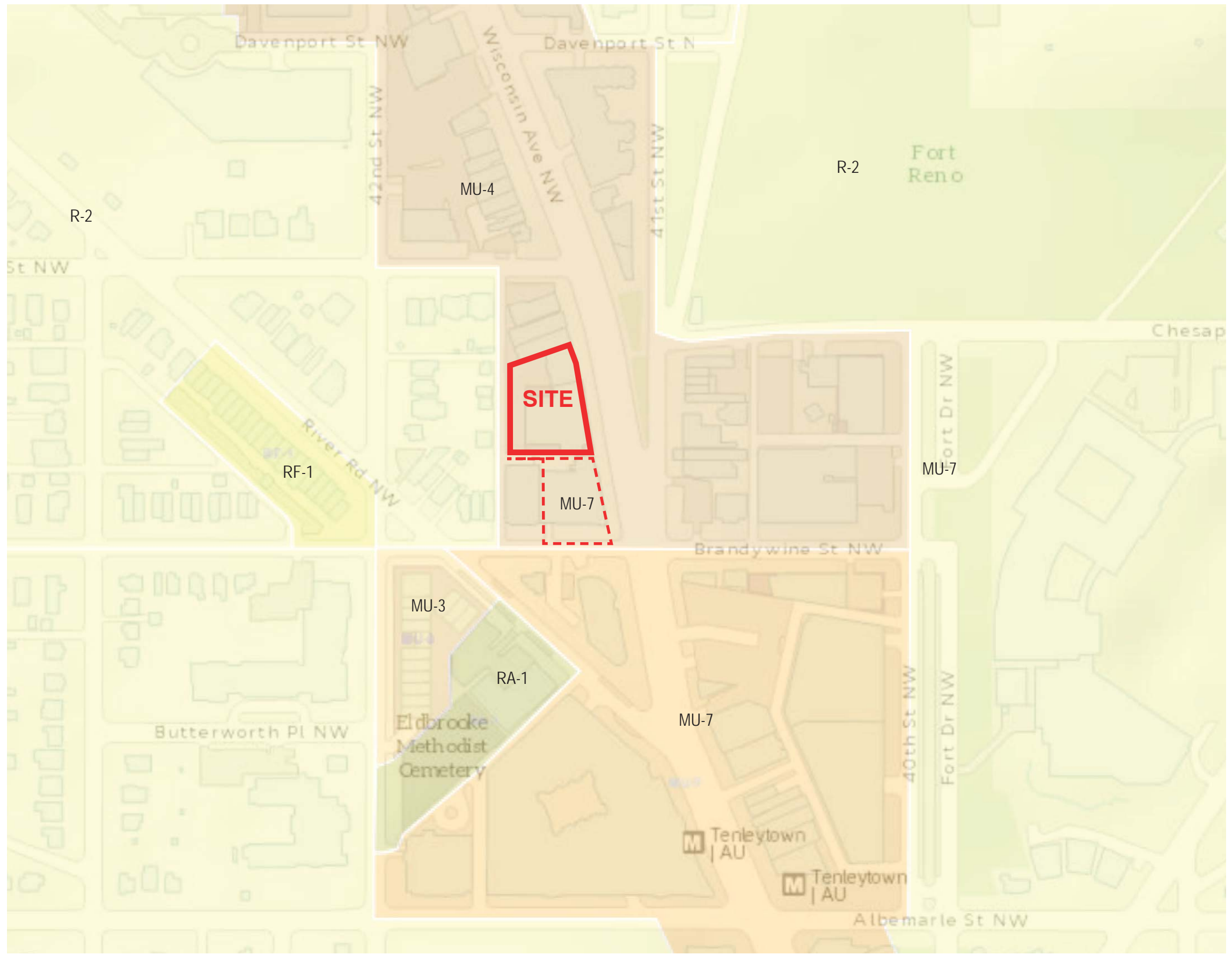
1 LOADING BERTHS 12' X 30'  
1 LOADING PLATFORM (100 SQFT)  
1 SERVICE SPACE 10' X 20'

DATE:  
September 08, 2017







SUPPLEMENTAL PRE-HEARING SUBMISSION



TITLE:  
ZONING DATA

NUMBER:  
A-01



**ZONES**

-  MU-3
-  MU-4
-  MU-7
-  R-2
-  RA-1
-  RF-1

-  DEVELOPMENT SITE; PROPOSED ZONING MU-7
-  PUD - ADJACENT PROPERTY ZONED MU-7



**U·I·P urban**  
investment partners  
4620 WISCONSIN AVENUE NW  
Square 1732  
Washington DC 20016



DATE:  
September 08, 2017

SUPPLEMENTAL PRE-HEARING SUBMISSION

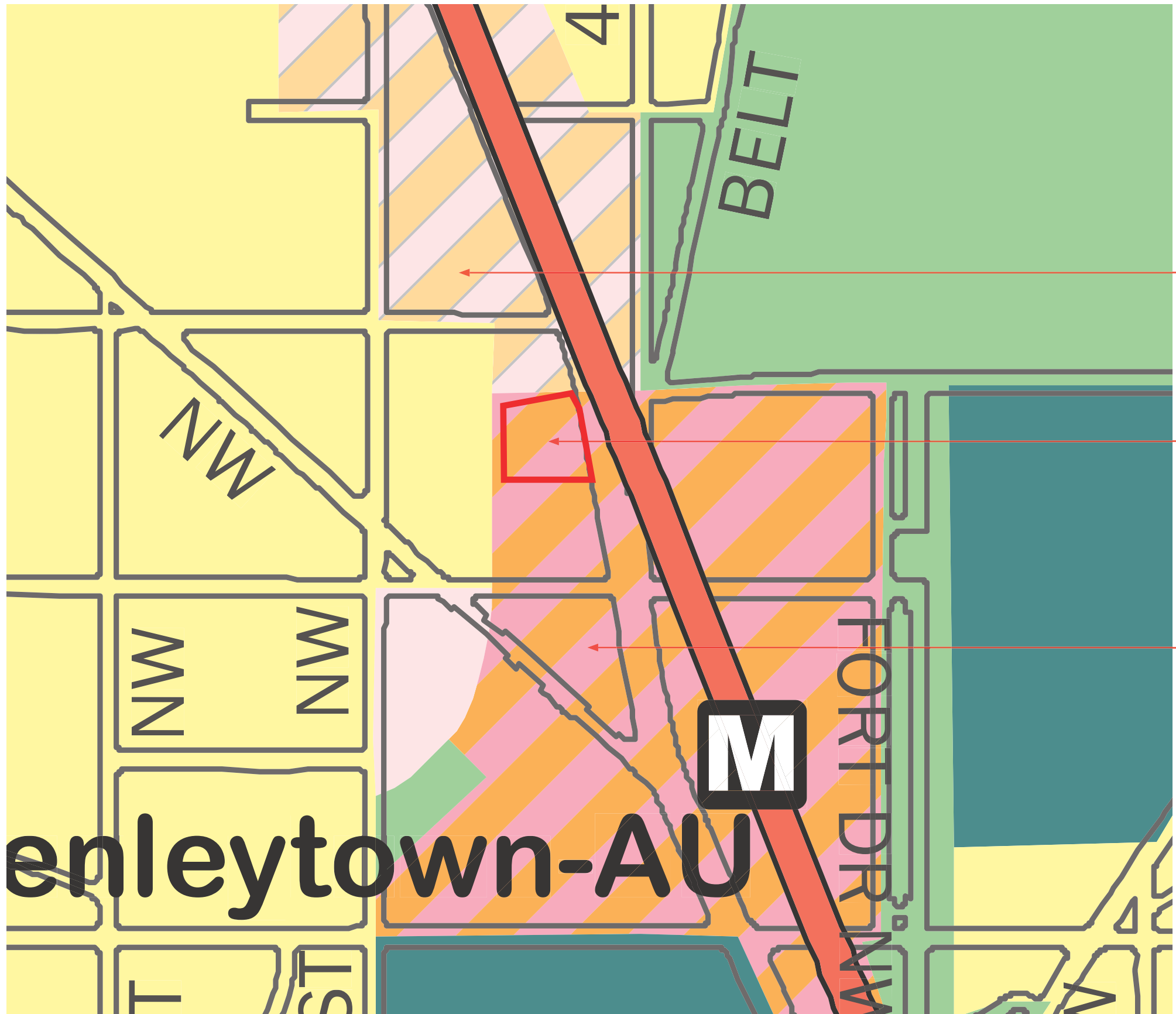
TITLE:  
ZONING BOUNDARY SITE PLAN

NUMBER:  
**A-02**



4620 WISCONSIN AVENUE NW

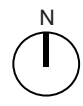
Square 1732 Washington DC 20016



CLD, RMOD  
COMMERCIAL LOW DENSITY  
RESIDENTIAL MODERATE DENSITY

PROPOSED SITE  
COMBINED - OVERLAPS  
CMOD, RMED

CMOD, RMED  
COMMERCIAL MODERATE DENSITY  
RESIDENTIAL MEDIUM DENSITY



enleytown-AU

DATE: September 08, 2017  
SUPPLEMENTAL PRE-HEARING SUBMISSION

TITLE: COMPREHENSIVE PLAN: FUTURE LANDUSE MAP

NUMBER: A-03

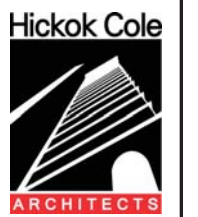


**AERIAL PLAN**



**4620 WISCONSIN AVENUE NW**

Square 1732  
Washington DC 20016



DATE:  
September 08, 2017

SUPPLEMENTAL PRE-  
HEARING SUBMISSION

TITLE:  
AERIAL PLAN

NUMBER:  
A-04



1 LOOKING NORTHWEST ACROSS WISCONSIN AVENUE



2 LOOKING WEST ACROSS WISCONSIN AND 41st ST



3 LOOKING WEST ACROSS WISCONSIN AVENUE



4 LOOKING SOUTH DOWN WISCONSIN AVENUE



5 LOOKING SOUTH DOWN REAR ALLEY



6 LOOKING SOUTHEAST FROM 42nd AND CHESAPEAKE ST



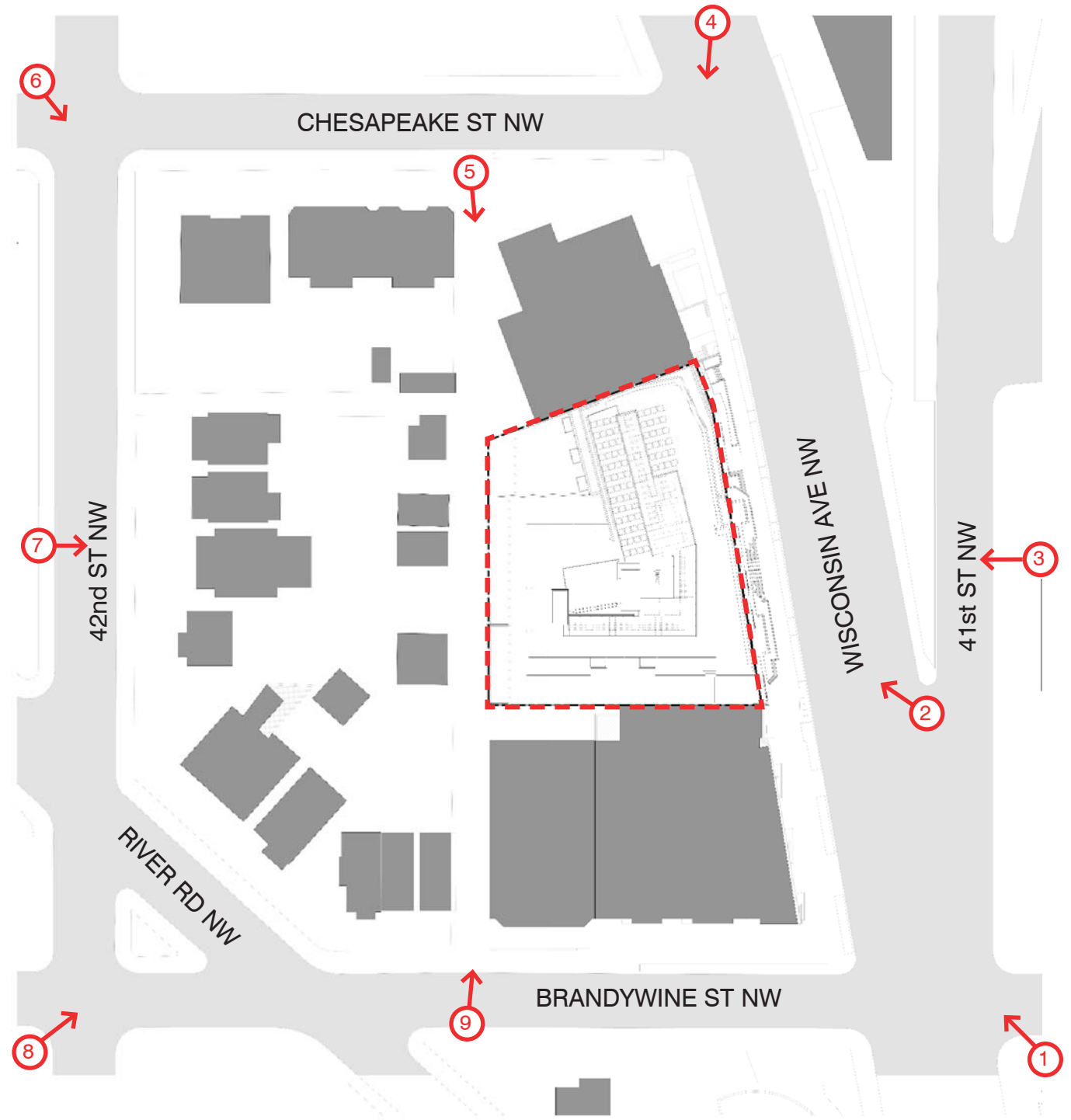
7 LOOKING EAST FROM 42nd AND RIVER RD



8 LOOKING NORTHEAST FROM 42nd AND BRANDYWINE ST









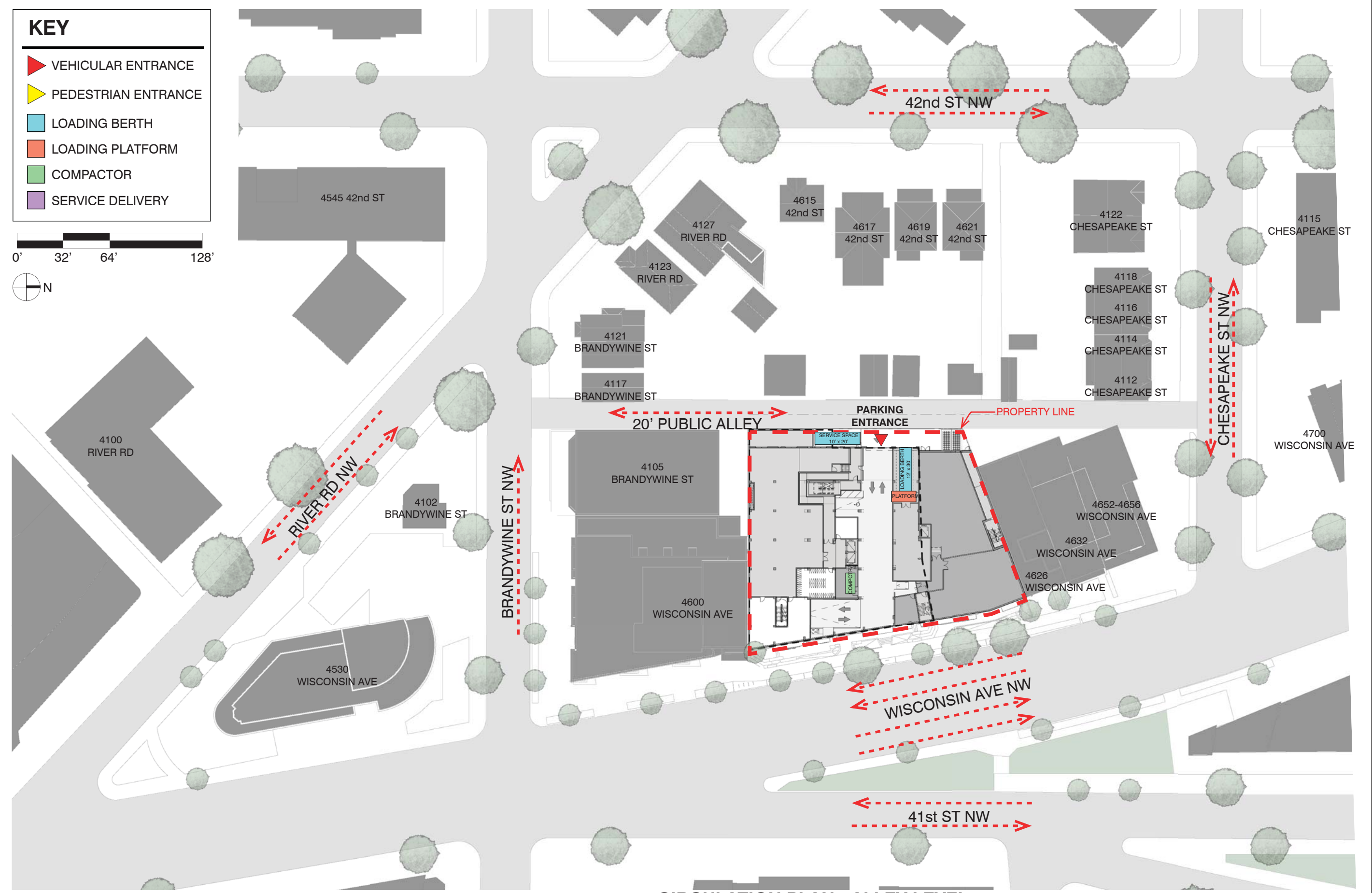
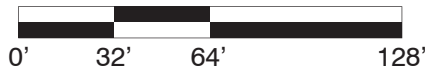
9 LOOKING NORTHEAST FROM REAR ALLEY



KEY PLAN

**KEY**







-  VEHICULAR ENTRANCE
-  PEDESTRIAN ENTRANCE
-  LOADING BERTH
-  LOADING PLATFORM
-  COMPACTOR
-  SERVICE DELIVERY

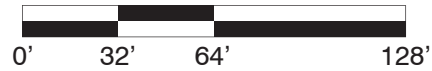


**CIRCULATION PLAN - ALLEY LEVEL**

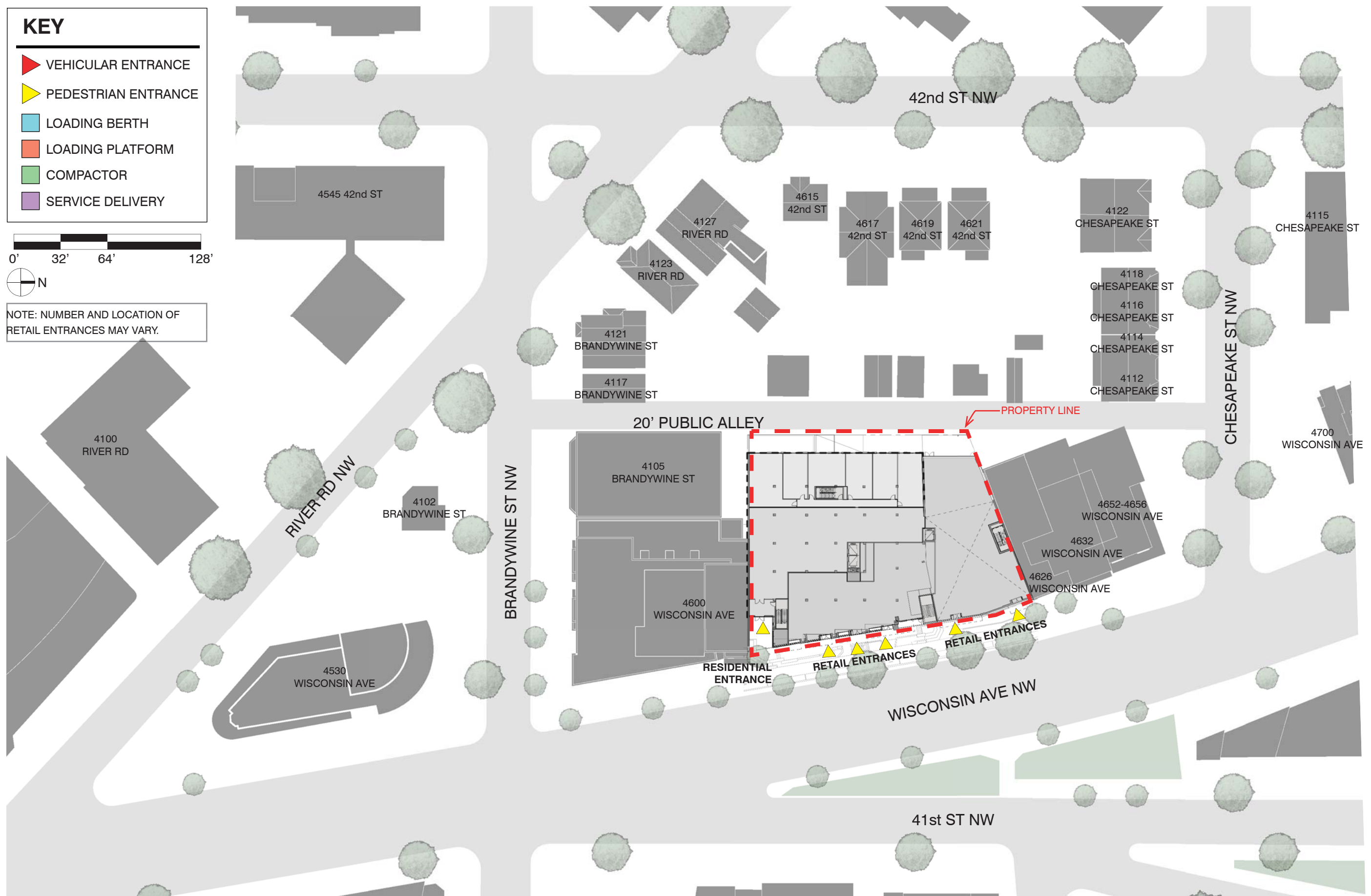


**KEY**

-  VEHICULAR ENTRANCE
-  PEDESTRIAN ENTRANCE
-  LOADING BERTH
-  LOADING PLATFORM
-  COMPACTOR
-  SERVICE DELIVERY



NOTE: NUMBER AND LOCATION OF RETAIL ENTRANCES MAY VARY.



**CIRCULATION PLAN - STREET LEVEL**



4620 WISCONSIN AVENUE NW

Square 1732  
Washington DC 20016

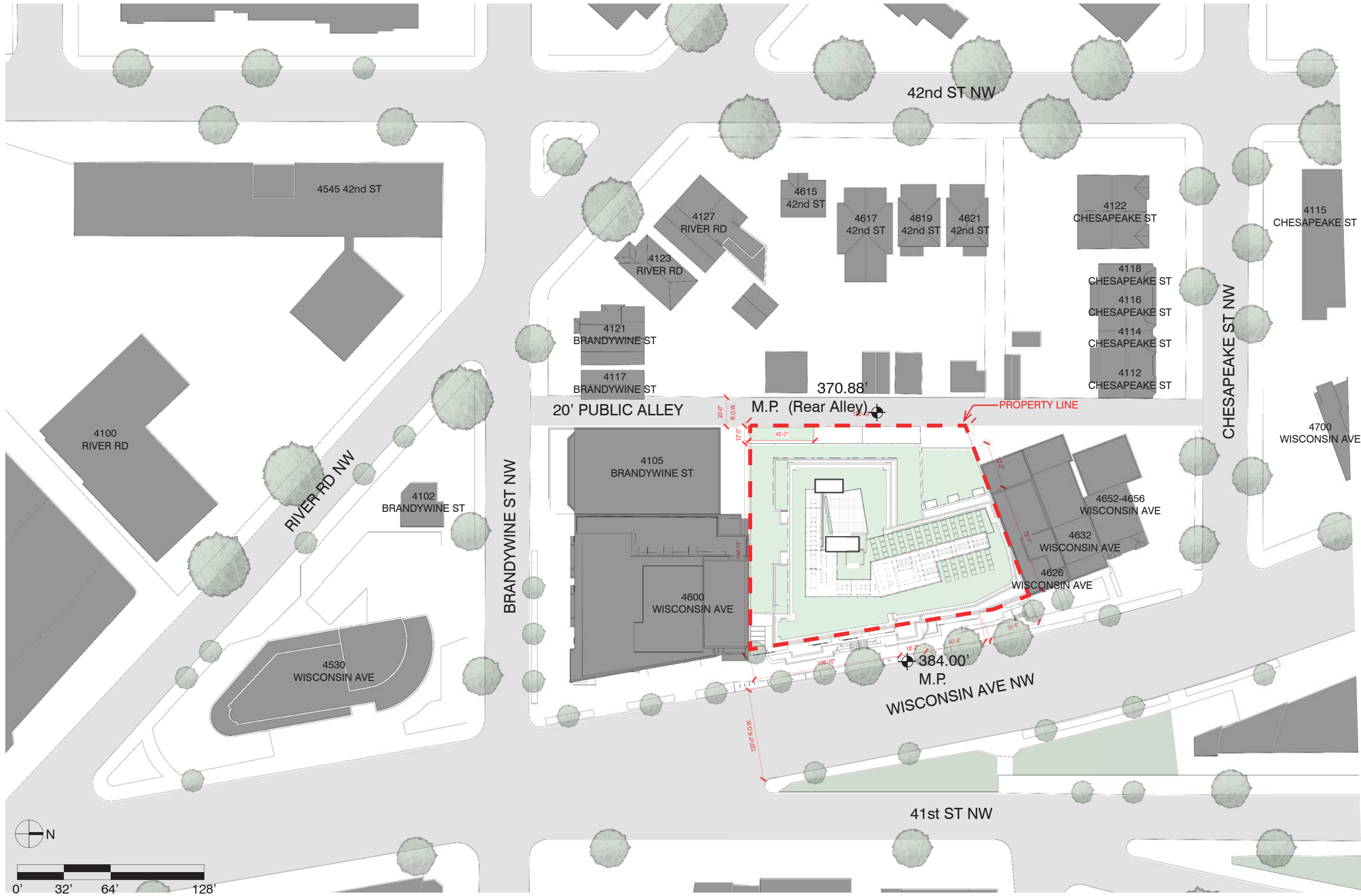


DATE:  
September 08, 2017

SUPPLEMENTAL PRE-  
HEARING SUBMISSION

TITLE:  
ARCHITECTURAL  
BLOCK &  
CIRCULATION PLAN  
STREET LEVEL

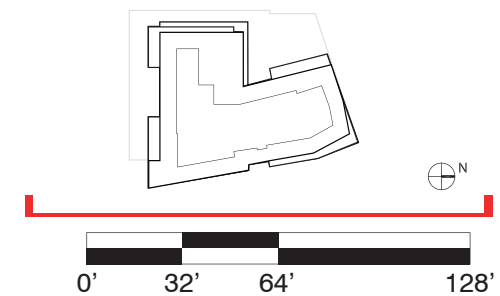
NUMBER:  
**A-08**



**DIMENSIONED SITE PLAN**



NORTH-SOUTH  
**SITE ELEVATION**

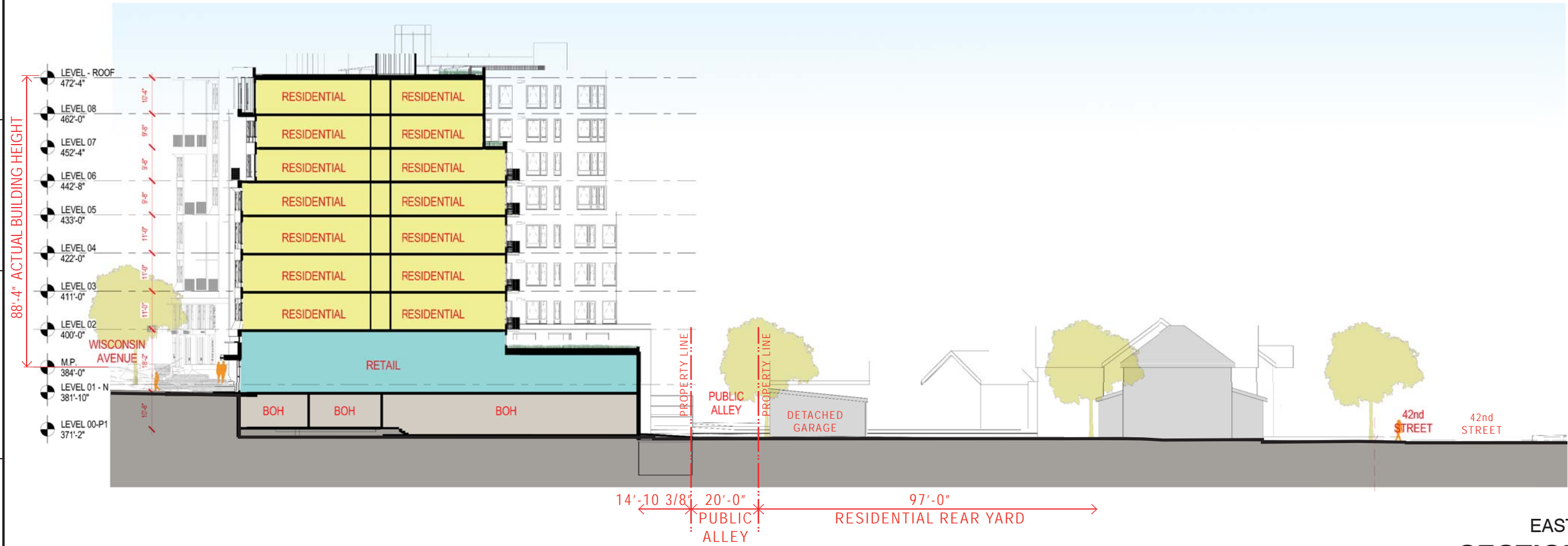


DATE:  
September 08, 2017

SUPPLEMENTAL PRE-  
HEARING SUBMISSION

TITLE:  
SITE ELEVATION

NUMBER:  
**A-10**



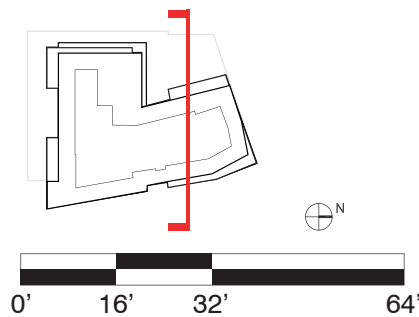
**EAST-WEST SECTION AA**

DATE: September 08, 2017

SUPPLEMENTAL PRE-HEARING SUBMISSION

TITLE: SITE SECTION: EAST-WEST

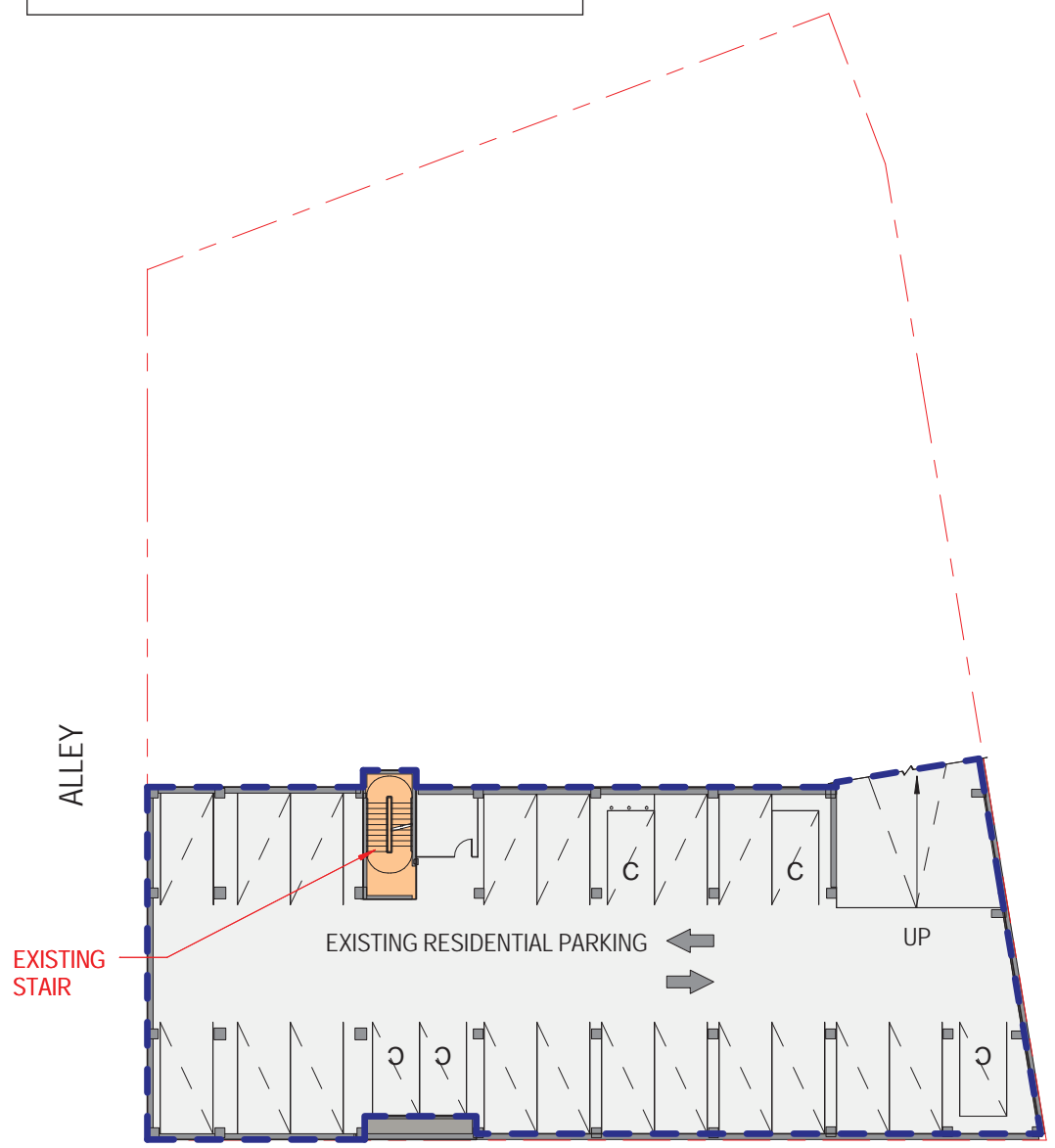
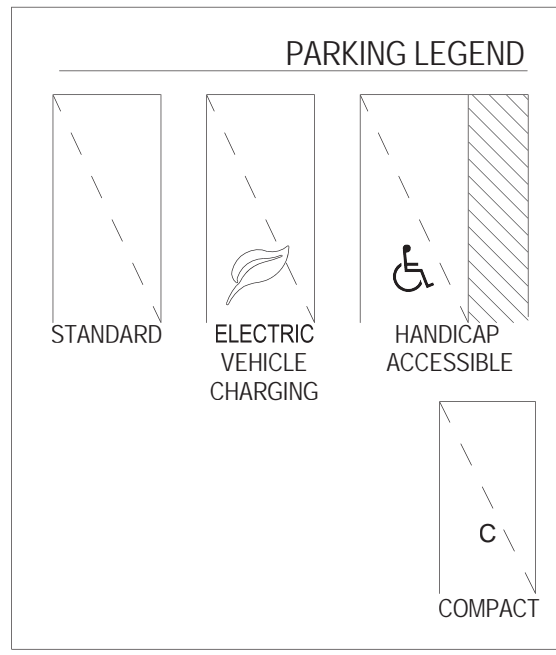
NUMBER: **A-11**





PARKING TOTALS				
	TOTAL	STANDARD	ADA	COMPACT
LEVEL P3	23	18		5
LEVEL P2	33	18	2	13
LEVEL P1	2	1	1	
	58			

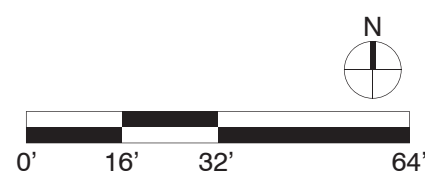
NOTE: APPLICANT REQUESTS FLEXIBILITY TO VARY THE LOCATION AND DESIGN OF ALL INTERIOR COMPONENTS, INCLUDING PARTITIONS, STRUCTURAL SLABS, DOORS, HALLWAYS, COLUMNS, STAIRWAYS, AND MECHANICAL ROOMS, PROVIDED THAT THE VARIATIONS DO NOT CHANGE THE EXTERIOR CONFIGURATION OF THE BUILDING



**LEVEL P3 - PARKING**



**LEVEL P2 - PARKING**



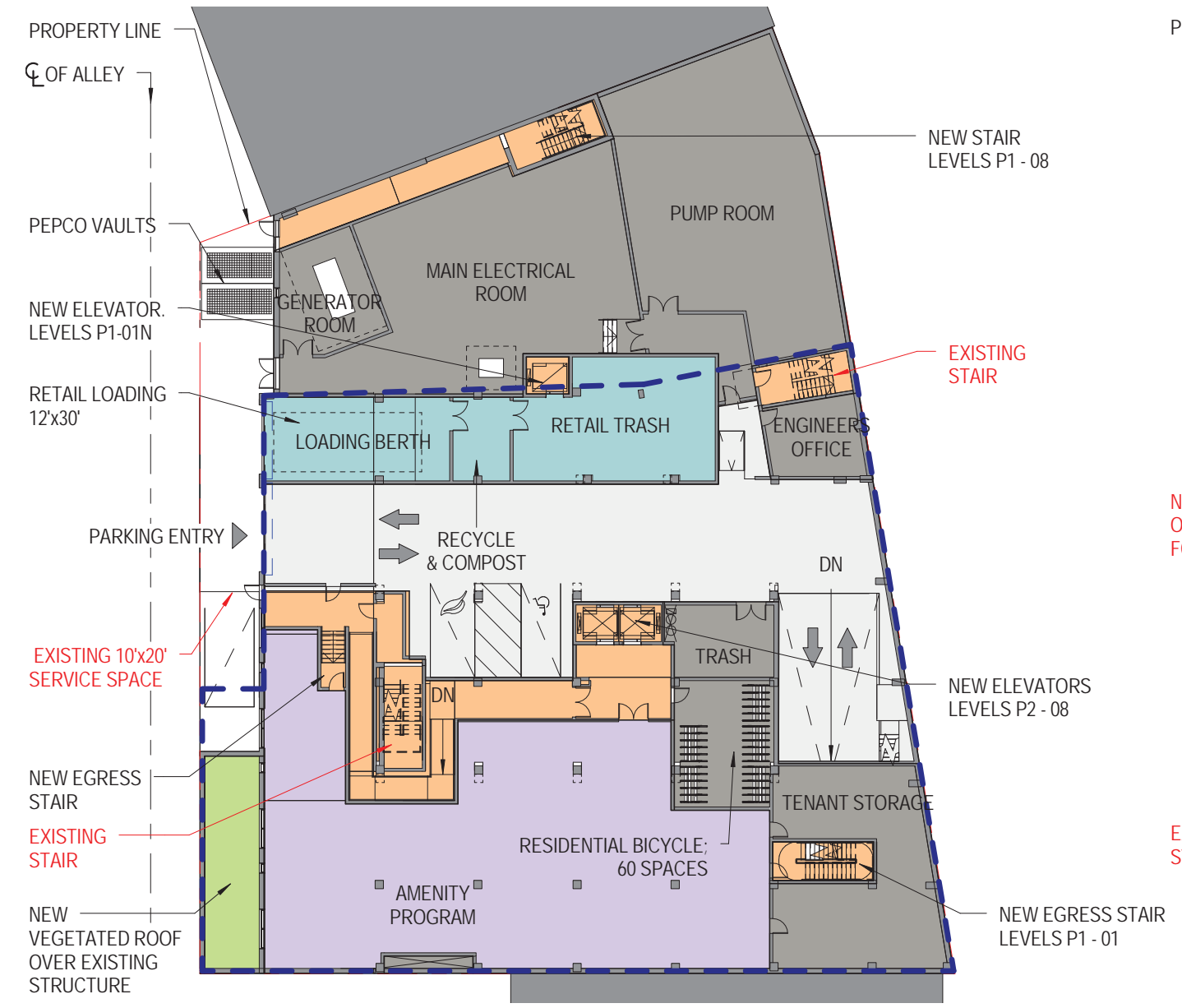
NOTE: APPLICANT REQUESTS FLEXIBILITY TO VARY THE LOCATION AND DESIGN OF ALL INTERIOR COMPONENTS, INCLUDING PARTITIONS, STRUCTURAL SLABS, DOORS, HALLWAYS, COLUMNS, STAIRWAYS, AND MECHANICAL ROOMS, PROVIDED THAT THE VARIATIONS DO NOT CHANGE THE EXTERIOR CONFIGURATION OF THE BUILDING

NOTE: LANDSCAPE DESIGN MORE FULLY DETAILED IN LANDSCAPE PLANS INCLUDED HEREIN.

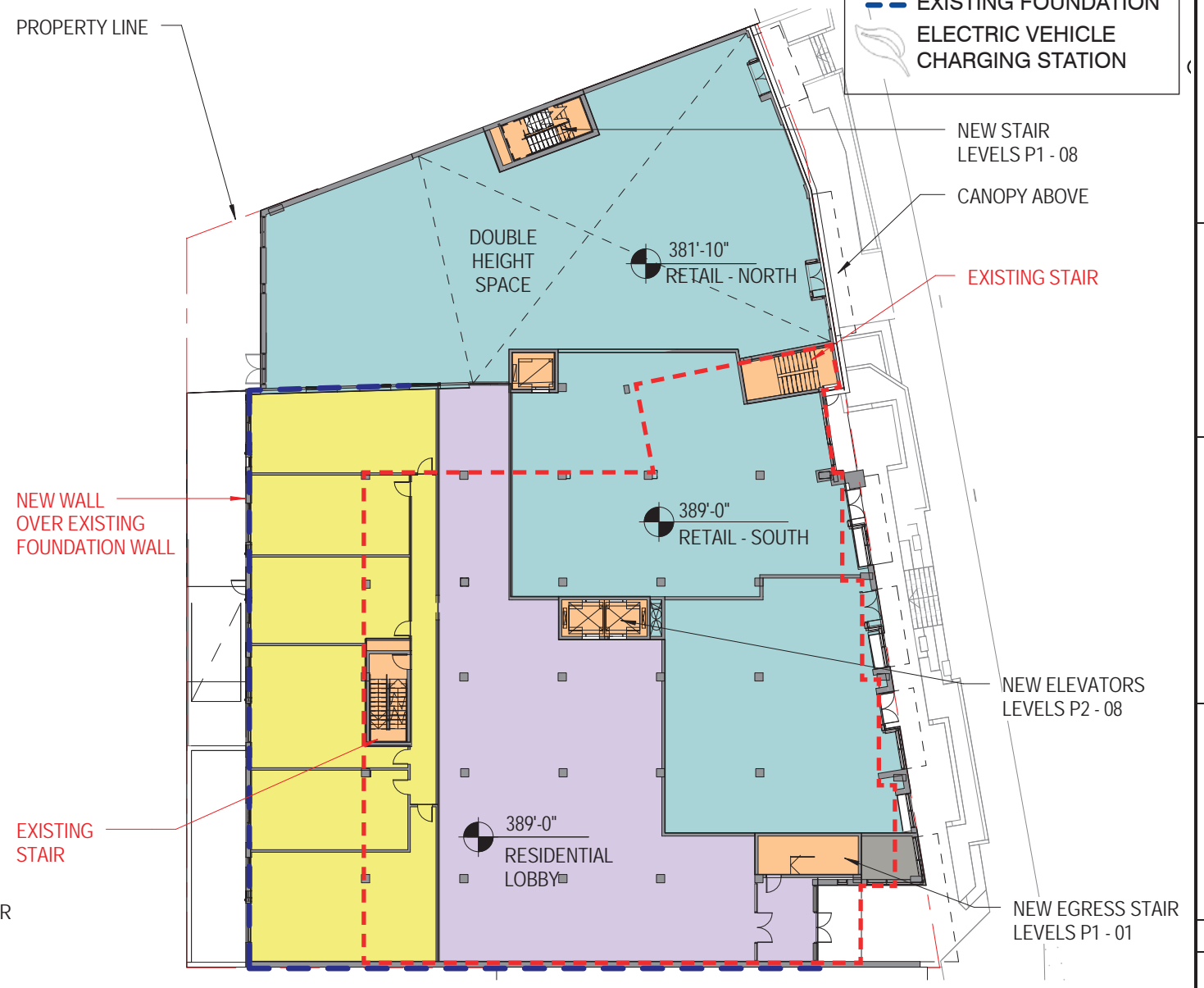
NOTE: NUMBER AND LOCATION OF RETAIL ENTRANCES MAY VARY.

### KEY

- RETAIL
- RESIDENTIAL AMENITIES
- RESIDENTIAL
- LOADING
- PARKING
- VERTICAL CIRCULATION
- VEGETATED ROOF
- EXISTING BUILDING
- EXISTING FOUNDATION
- ELECTRIC VEHICLE CHARGING STATION



**LEVEL P1 - PARKING / RETAIL**



**LEVEL 01 - NORTH / SOUTH RETAIL**

N

0' 16' 32' 64'

PRINTED ON 100% RECYCLED CONTENT PAPER

NOTE: APPLICANT REQUESTS FLEXIBILITY TO VARY THE LOCATION AND DESIGN OF ALL INTERIOR COMPONENTS, INCLUDING PARTITIONS, STRUCTURAL SLABS, DOORS, HALLWAYS, COLUMNS, STAIRWAYS, AND MECHANICAL ROOMS, PROVIDED THAT THE VARIATIONS DO NOT CHANGE THE EXTERIOR CONFIGURATION OF THE BUILDING

NOTE: LANDSCAPE DESIGN MORE FULLY DETAILED IN LANDSCAPE PLANS INCLUDED HEREIN.



4620 WISCONSIN AVENUE NW

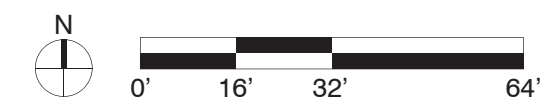
Square 1732  
Washington DC 20016



**LEVEL 01 - SOUTH RETAIL / RESIDENTIAL**



**LEVEL 02 - RESIDENTIAL**



DATE: September 08, 2017

SUPPLEMENTAL PRE-HEARING SUBMISSION

TITLE: FLOOR PLANS LEVEL 01-S & LEVEL 02

NUMBER: A-15



NOTE: APPLICANT REQUESTS FLEXIBILITY TO VARY THE LOCATION AND DESIGN OF ALL INTERIOR COMPONENTS, INCLUDING PARTITIONS, STRUCTURAL SLABS, DOORS, HALLWAYS, COLUMNS, STAIRWAYS, AND MECHANICAL ROOMS, PROVIDED THAT THE VARIATIONS DO NOT CHANGE THE EXTERIOR CONFIGURATION OF THE BUILDING

**KEY**

- RETAIL
- RESIDENTIAL AMENITIES
- RESIDENTIAL
- LOADING
- PARKING
- VERTICAL CIRCULATION
- VEGETATED ROOF
- EXISTING BUILDING
- EXISTING FOUNDATION

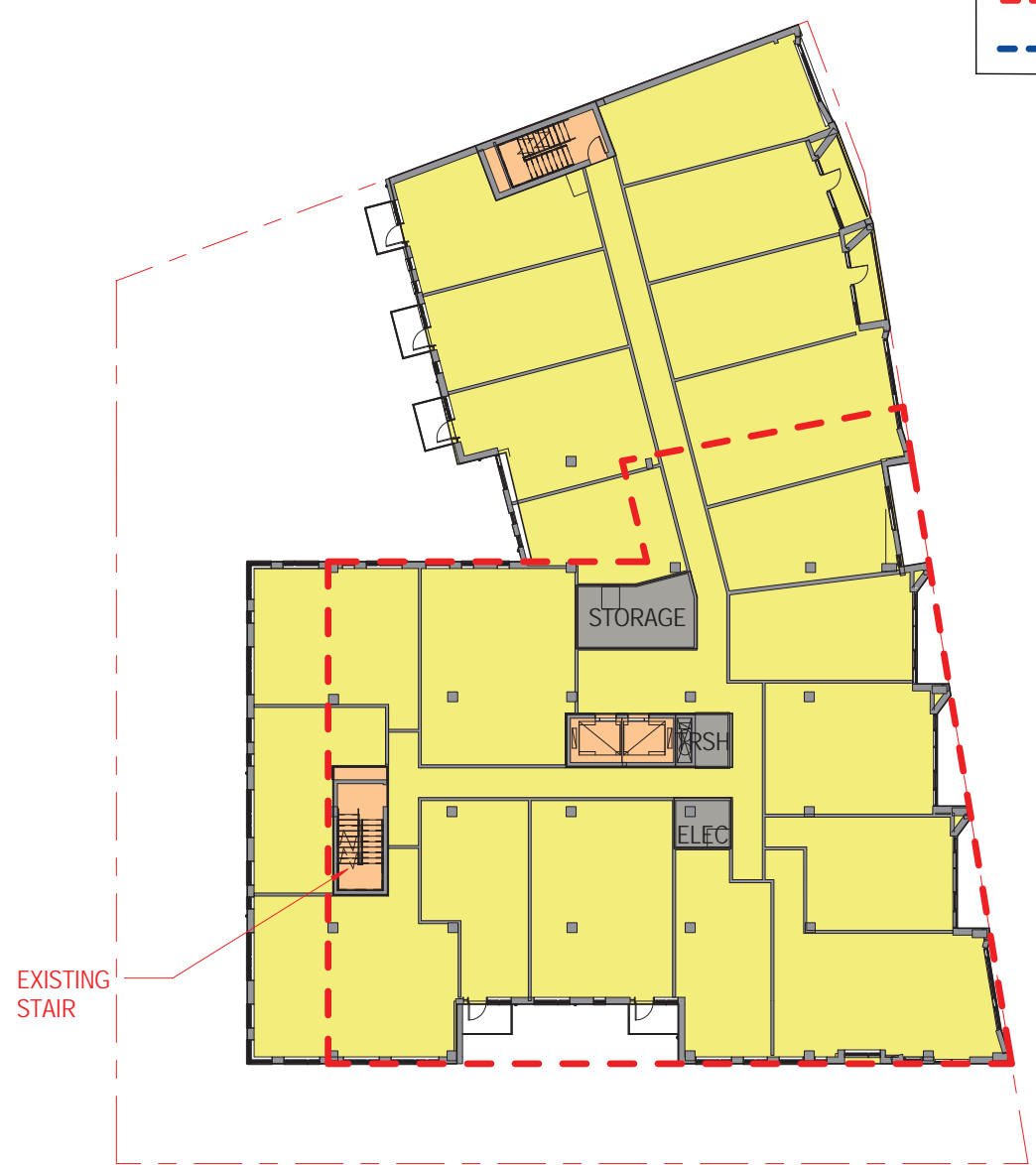


4620 WISCONSIN AVENUE NW

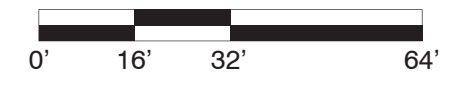
Square 1732 Washington DC 20016



**LEVEL 03 - RESIDENTIAL**



**LEVEL 04 - RESIDENTIAL**



PRINTED ON 100% RECYCLED CONTENT PAPER

DATE: September 08, 2017

SUPPLEMENTAL PRE-HEARING SUBMISSION

TITLE: FLOOR PLANS LEVEL 03 & LEVEL 04

NUMBER: A-16

NOTE: APPLICANT REQUESTS FLEXIBILITY TO VARY THE LOCATION AND DESIGN OF ALL INTERIOR COMPONENTS, INCLUDING PARTITIONS, STRUCTURAL SLABS, DOORS, HALLWAYS, COLUMNS, STAIRWAYS, AND MECHANICAL ROOMS, PROVIDED THAT THE VARIATIONS DO NOT CHANGE THE EXTERIOR CONFIGURATION OF THE BUILDING

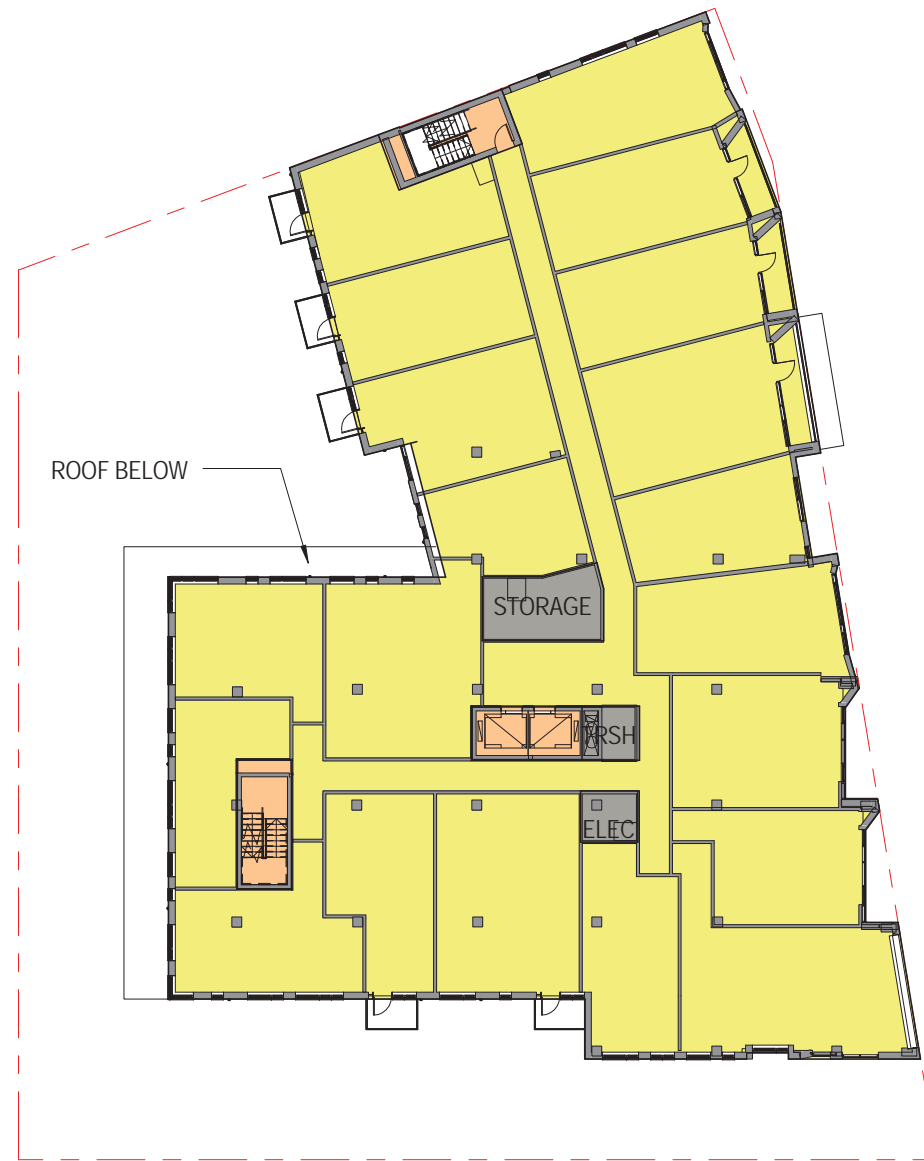


4620 WISCONSIN AVENUE NW

Square 1732  
Washington DC 20016



**LEVEL 05 - RESIDENTIAL**



**LEVEL 06 - RESIDENTIAL**



DATE:  
September 08, 2017

SUPPLEMENTAL PRE-  
HEARING SUBMISSION

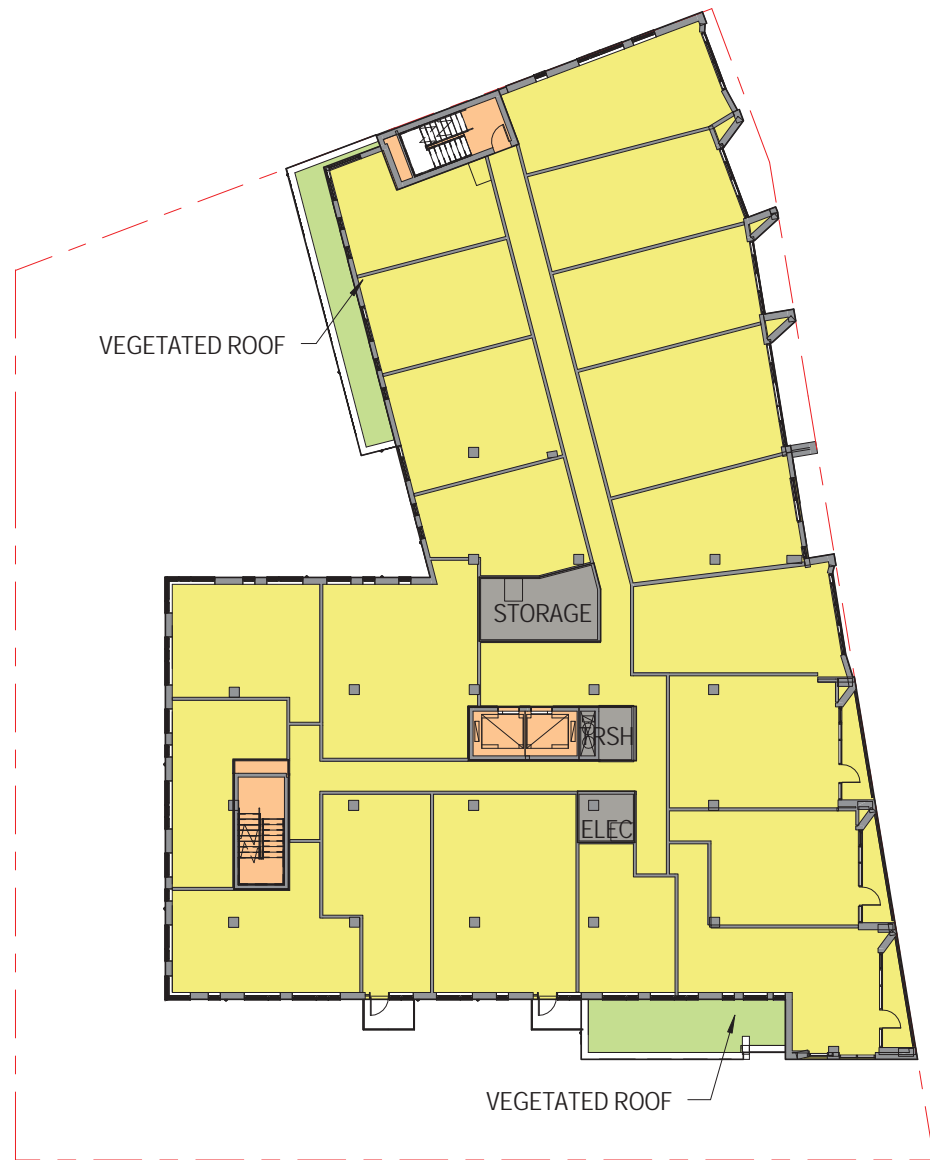
TITLE:  
FLOOR PLANS  
LEVEL 05 &  
LEVEL 06

NUMBER:  
A-17

NOTE: APPLICANT REQUESTS FLEXIBILITY TO VARY THE LOCATION AND DESIGN OF ALL INTERIOR COMPONENTS, INCLUDING PARTITIONS, STRUCTURAL SLABS, DOORS, HALLWAYS, COLUMNS, STAIRWAYS, AND MECHANICAL ROOMS, PROVIDED THAT THE VARIATIONS DO NOT CHANGE THE EXTERIOR CONFIGURATION OF THE BUILDING

**KEY**

- RETAIL
- RESIDENTIAL AMENITIES
- RESIDENTIAL
- LOADING
- PARKING
- VERTICAL CIRCULATION
- VEGETATED ROOF
- EXISTING BUILDING



**LEVEL 07 - RESIDENTIAL**



**LEVEL 08 - RESIDENTIAL**



4620 WISCONSIN AVENUE NW

Square 1732  
Washington DC 20016



DATE:  
September 08, 2017

SUPPLEMENTAL PRE-  
HEARING SUBMISSION

TITLE:  
FLOOR PLANS  
LEVEL 07 &  
LEVEL 08

NUMBER:

**A-18**

NOTE: APPLICANT REQUESTS FLEXIBILITY TO VARY THE LOCATION AND DESIGN OF ALL INTERIOR COMPONENTS, INCLUDING PARTITIONS, STRUCTURAL SLABS, DOORS, HALLWAYS, COLUMNS, STAIRWAYS, AND MECHANICAL ROOMS, PROVIDED THAT THE VARIATIONS DO NOT CHANGE THE EXTERIOR CONFIGURATION OF THE BUILDING

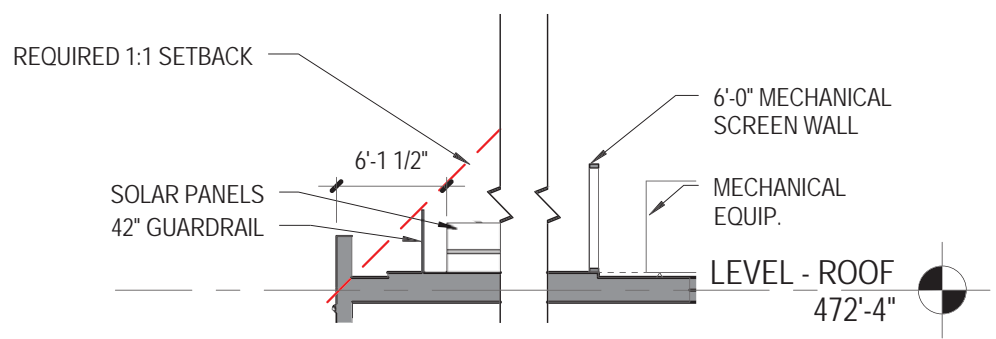
**U-I-P urban**  
investment partners  
4620 WISCONSIN AVENUE NW  
Square 1732  
Washington DC 20016

**Hickok Cole**  
ARCHITECTS

DATE:  
September 08, 2017  
SUPPLEMENTAL PRE-HEARING SUBMISSION  
TITLE:  
FLOOR PLANS  
ROOF LEVEL  
NUMBER:  
A-19

**KEY**

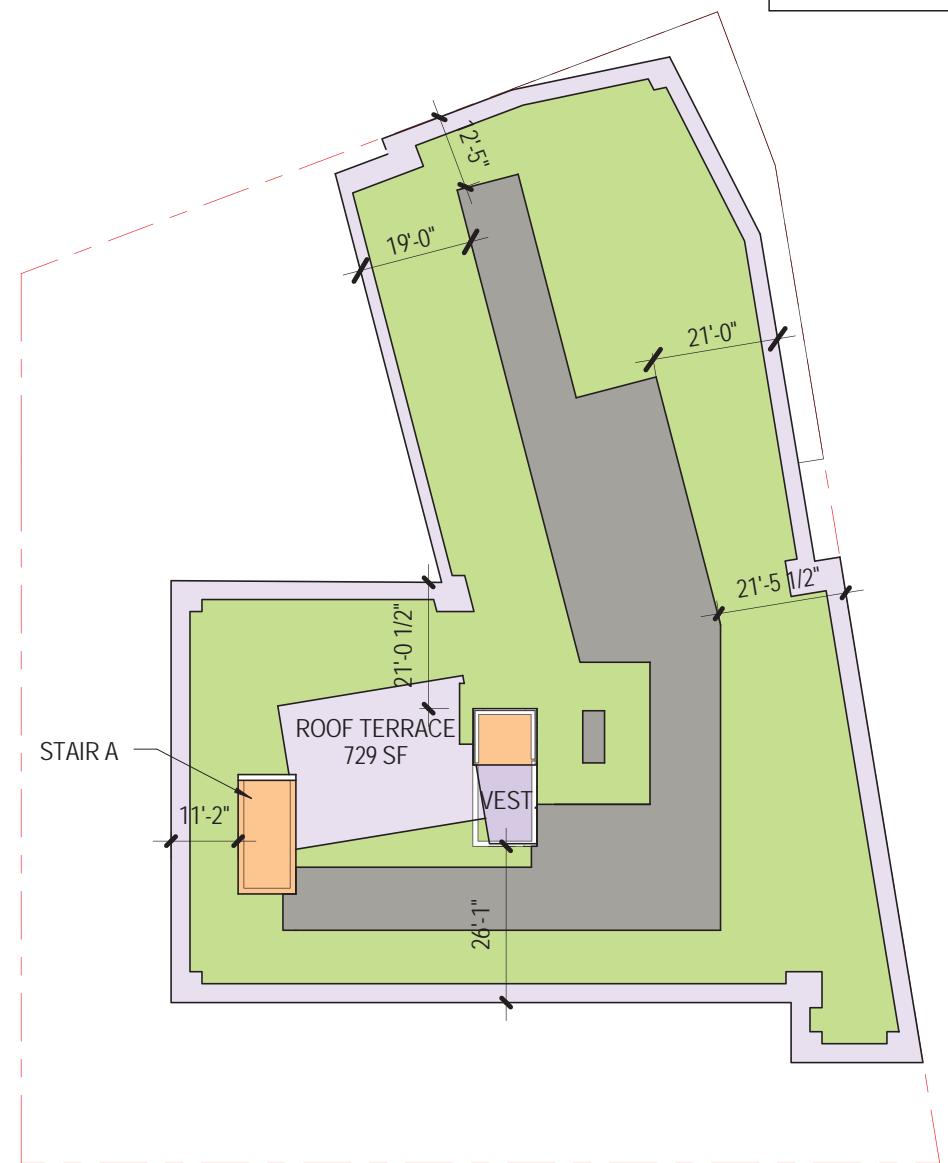
- RETAIL
- RESIDENTIAL AMENITIES
- RESIDENTIAL
- LOADING
- PARKING
- VERTICAL CIRCULATION
- VEGETATED ROOF
- EXISTING BUILDING



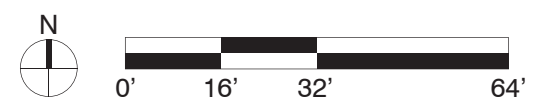
**SECTION C-C**



**PENTHOUSE LEVEL - RESIDENTIAL / AMENITY**



**ROOF LEVEL**



SIDE YARD

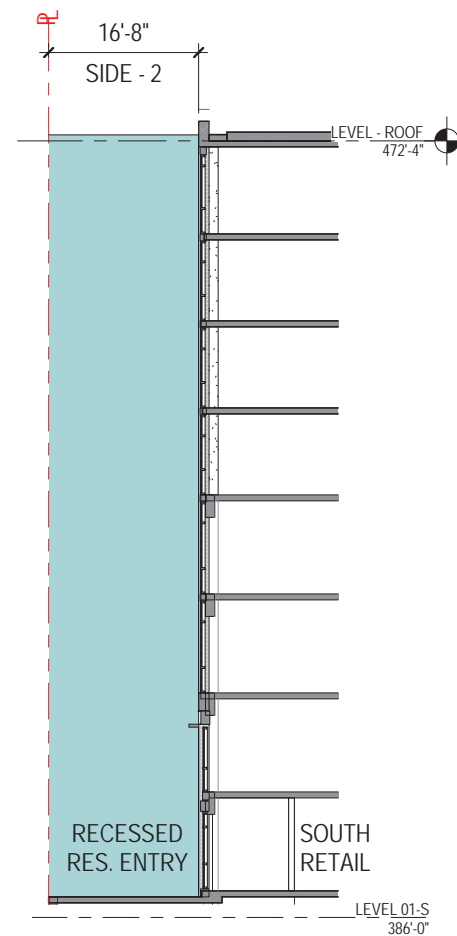
- 406.1 NO SIDE YARD IS REQUIRED FOR A BUILDING OR STRUCTURE OTHER THAN A DETACHED SINGLE DWELLING UNIT OR SEMI-DETACHED SINGLE DWELLING UNIT; HOWEVER, IF A SIDE YARD IS PROVIDED IT SHALL BE AT LEAST TWO INCHES (2 IN.) WIDE FOR EACH ONE FOOT (1 FT.) OF HEIGHT OF BUILDING BUT NO LESS THAN FIVE FEET (5 FT.).
- 406.3 ANY PORTION OF A BUILDING SETBACK FROM THE SIDE LOT LINE SHALL BE CONSIDERED A SIDE YARD AND NOT A COURT.

**U·I·P urban**  
investment partners

4620 WISCONSIN AVENUE NW

Circle 1732  
Washington DC 20016

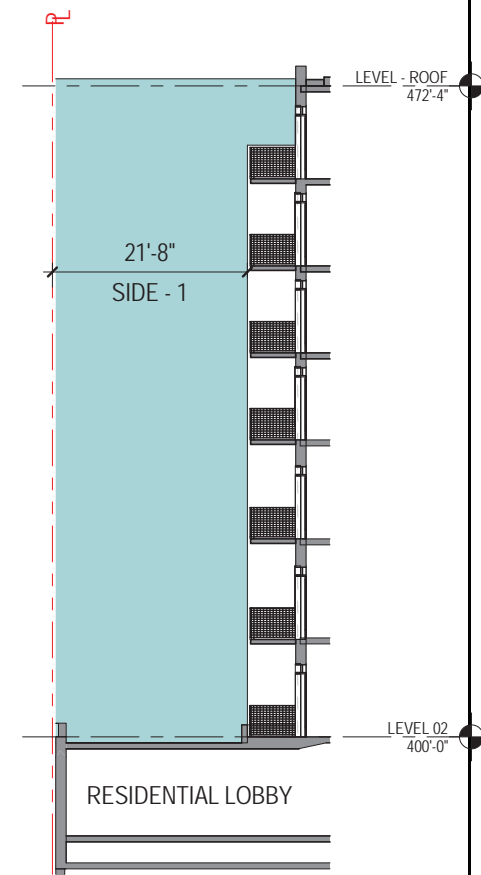
**Hickok Cole**  
ARCHITECTS



**SECTION B-B**

SIDEYARD  
WIDTH REQUIRED: 88'-4" X 2" = 14'-9"      COMPLIANT

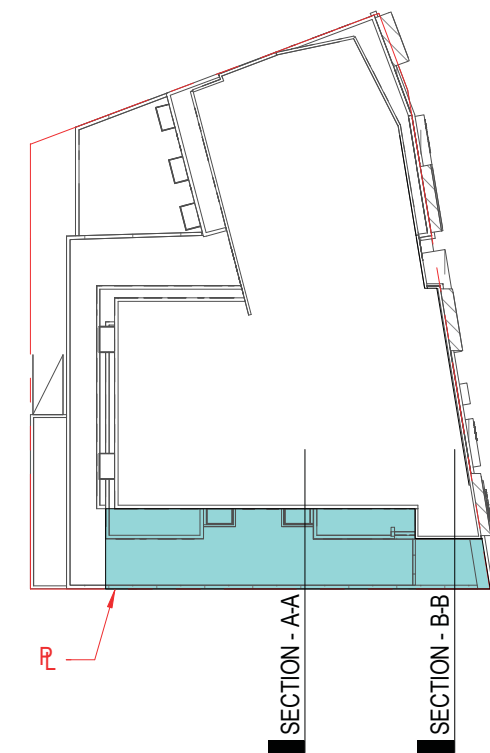
WIDTH PROVIDED: 16'-8"



**SECTION A-A**

SIDE YARD      COMPLIANT  
WIDTH REQUIRED: 88'-4" X 2" = 14'-9"

WIDTH PROVIDED: 21'-8"



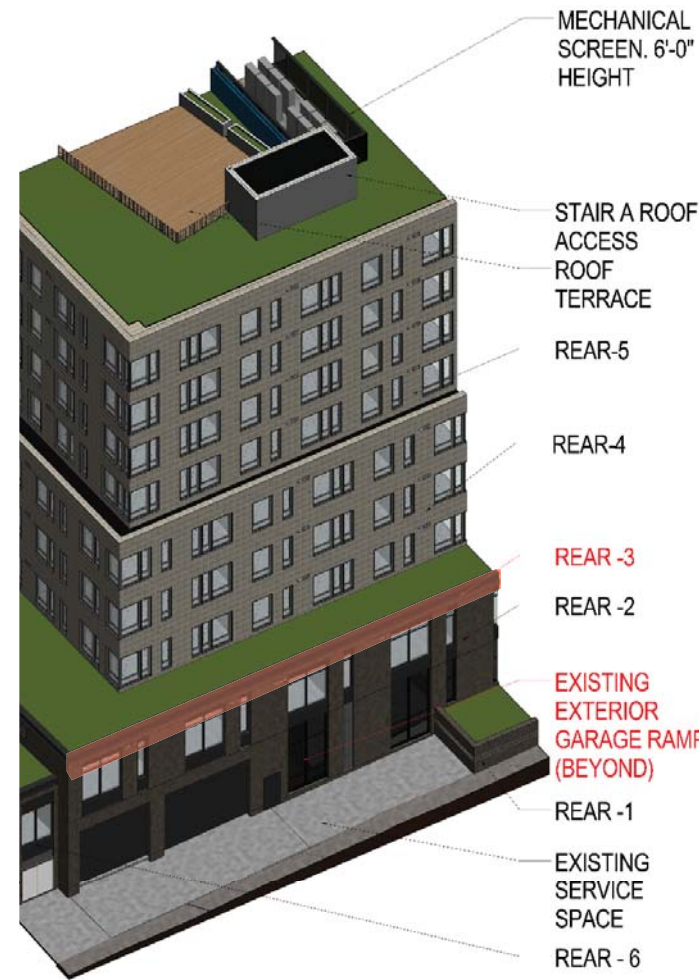
**KEY PLAN - SIDE YARDS**

DATE: September 08, 2017

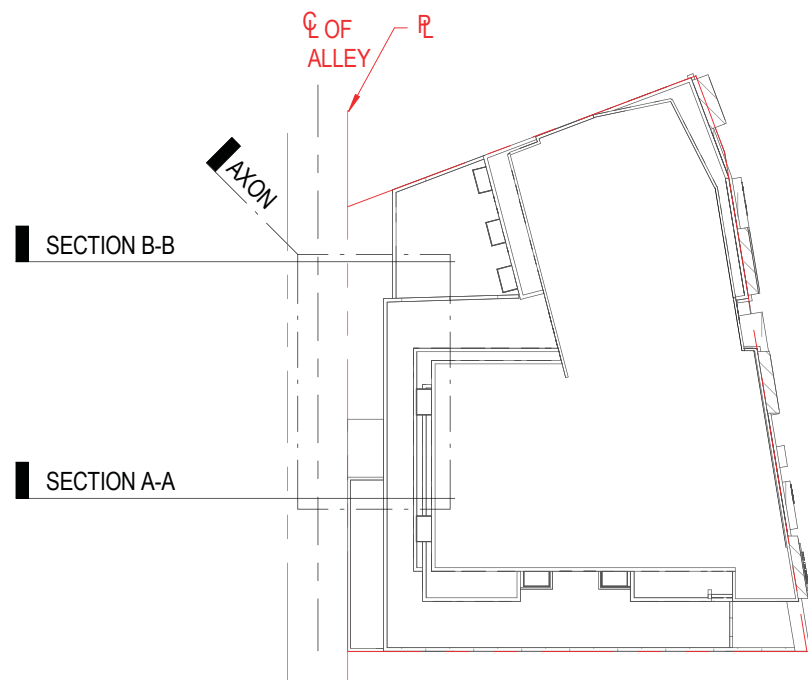
SUPPLEMENTAL PRE-HEARING SUBMISSION

TITLE: SIDE YARD DIAGRAMS

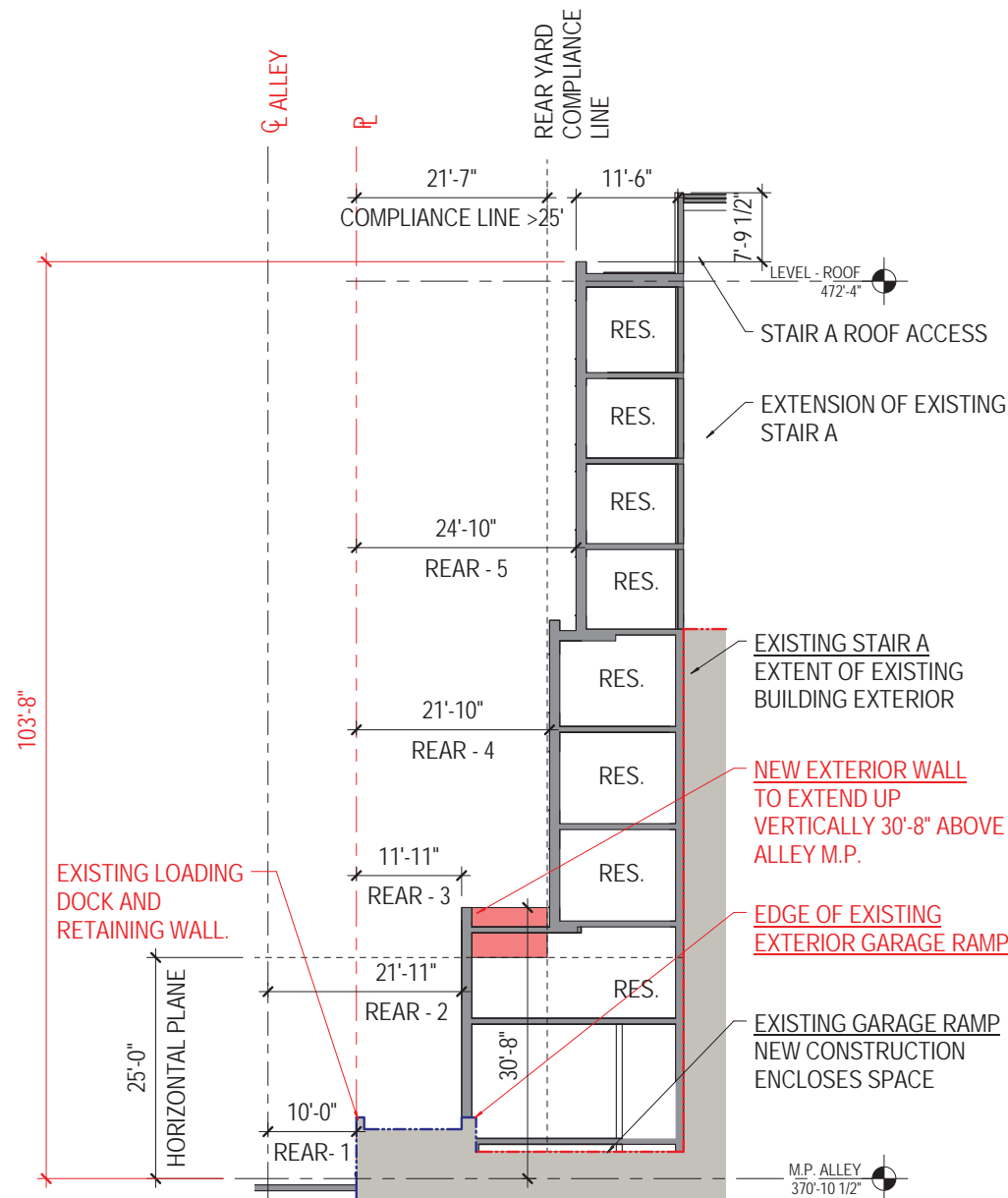
NUMBER: A-20



**AXON**



**KEY PLAN - REAR YARD LOCATION**



**SECTION A-A**

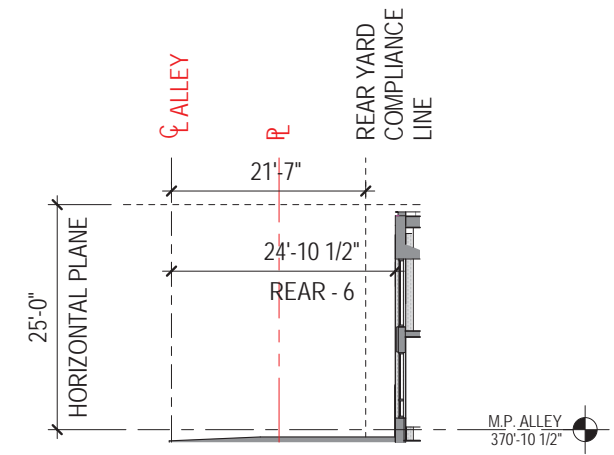
REAR YARD - SETBACKS 2-3  
WIDTH REQUIRED 103'-8" X 2.5" = 21'-7"

WIDTH PROVIDED:		
REAR - 1*	10'-0"	EXISTING RETAINING WALL TO REMAIN COMPLIANT
REAR - 2*	21'-11"	COMPLIANT
REAR - 3*	11'-11"	NON-COMPLIANT
REAR - 4	21'-10"	COMPLIANT
REAR - 5	24'-10"	COMPLIANT

\*EXISTING RETAINING WALL ON PL; MEASURED FROM CL OF ALLEY

**REAR YARDS**

- 405.3 A MINIMUM REAR YARD OF TWO AND ONE-HALF INCHES (2.5 IN.) PER ONE FOOT (1 FT.) OF VERTICAL DISTANCE FROM THE MEAN FINISHED GRADE AT THE MIDDLE OF THE REAR OF THE STRUCTURE TO THE HIGHEST POINT OF THE MAIN ROOF OR PARAPET WALL, BUT NOT LESS THAN TWELVE FEET (12 FT.) SHALL BE PROVIDED IN THE MU-7, MU-8, MU-9, AND MU-10 ZONES.
- 405.4 IN THE MU-3 THROUGH MU-9 ZONES, A HORIZONTAL PLANE MAY BE ESTABLISHED AT TWENTY-FIVE FEET (25 FT.) ABOVE THE MEAN FINISHED GRADE AT THE MIDDLE OF THE REAR OF THE STRUCTURE FOR THE PURPOSE OF MEASURING REAR YARDS.
- 405.5 IN THE MU-3 THROUGH MU-7 ZONES, REAR YARDS SHALL BE MEASURED AS FOLLOWS:
  - (A) WHERE A LOT ABUTS AN ALLEY:
    - (1) FOR THAT PORTION OF THE STRUCTURE BELOW A HORIZONTAL PLANE DESCRIBED IN SUBTITLE G § 405.4 FROM THE CENTER LINE OF THE ALLEY TO THE REAR WALL OF THE PORTION; AND
    - (2) FOR THAT PORTION OF THE STRUCTURE ABOVE THE HORIZONTAL PLANE DESCRIBED IN SUBTITLE G § 405.4, FROM THE REAR LOT LINE TO THE REAR WALL OF THAT PORTION IMMEDIATELY ABOVE THE PLANE.



**SECTION B-B**

REAR YARD - SET BACK 6  
WIDTH REQUIRED 103'-8" X 2.5" = 21'-7"

WIDTH PROVIDED:	
REAR-6*	*24'-10 1/2"

### LOT OCCUPANCY

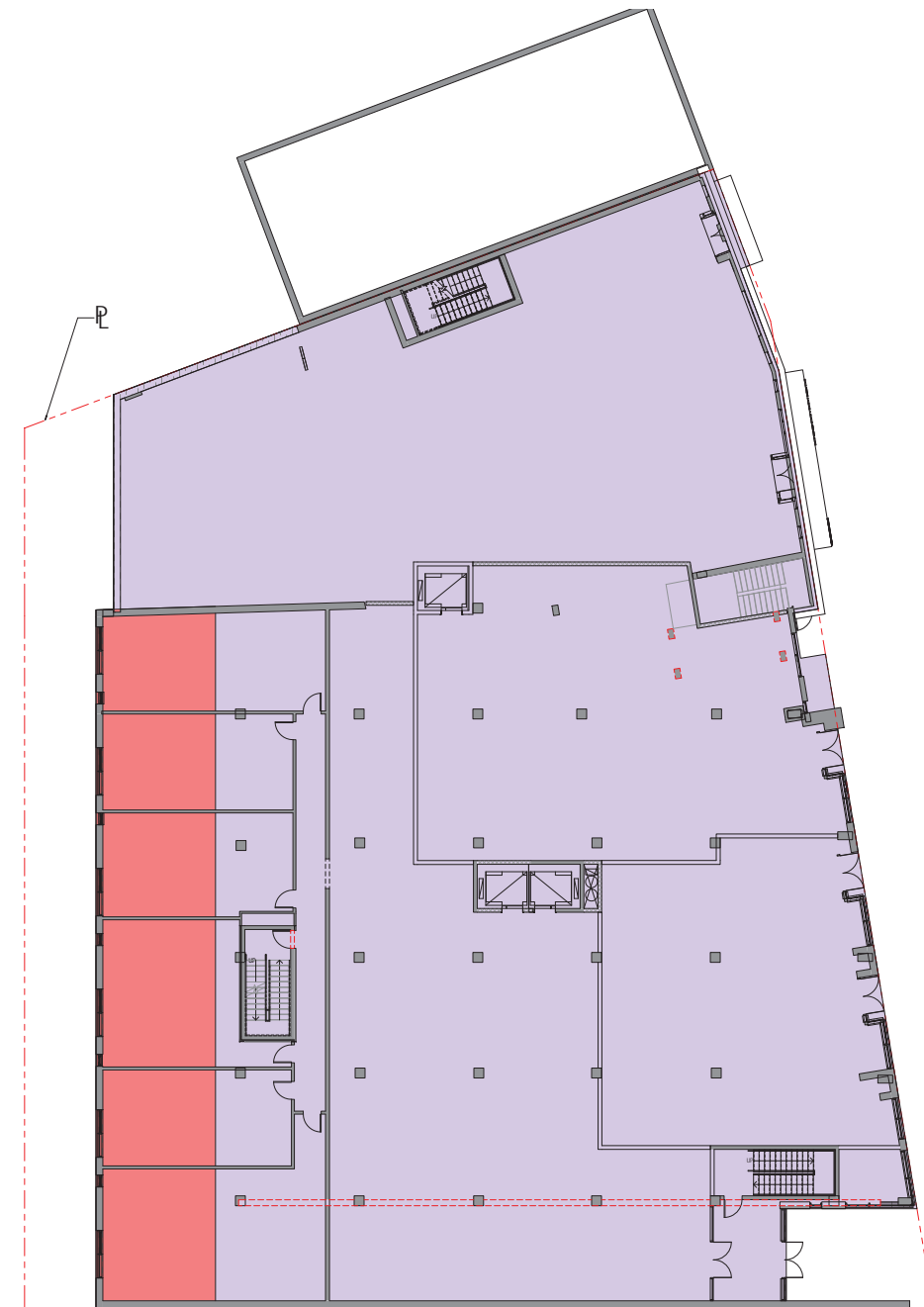
TOTAL LOT AREA (AREA SHOWN WITHIN PROPERTY LINE): 23,741 SQFT

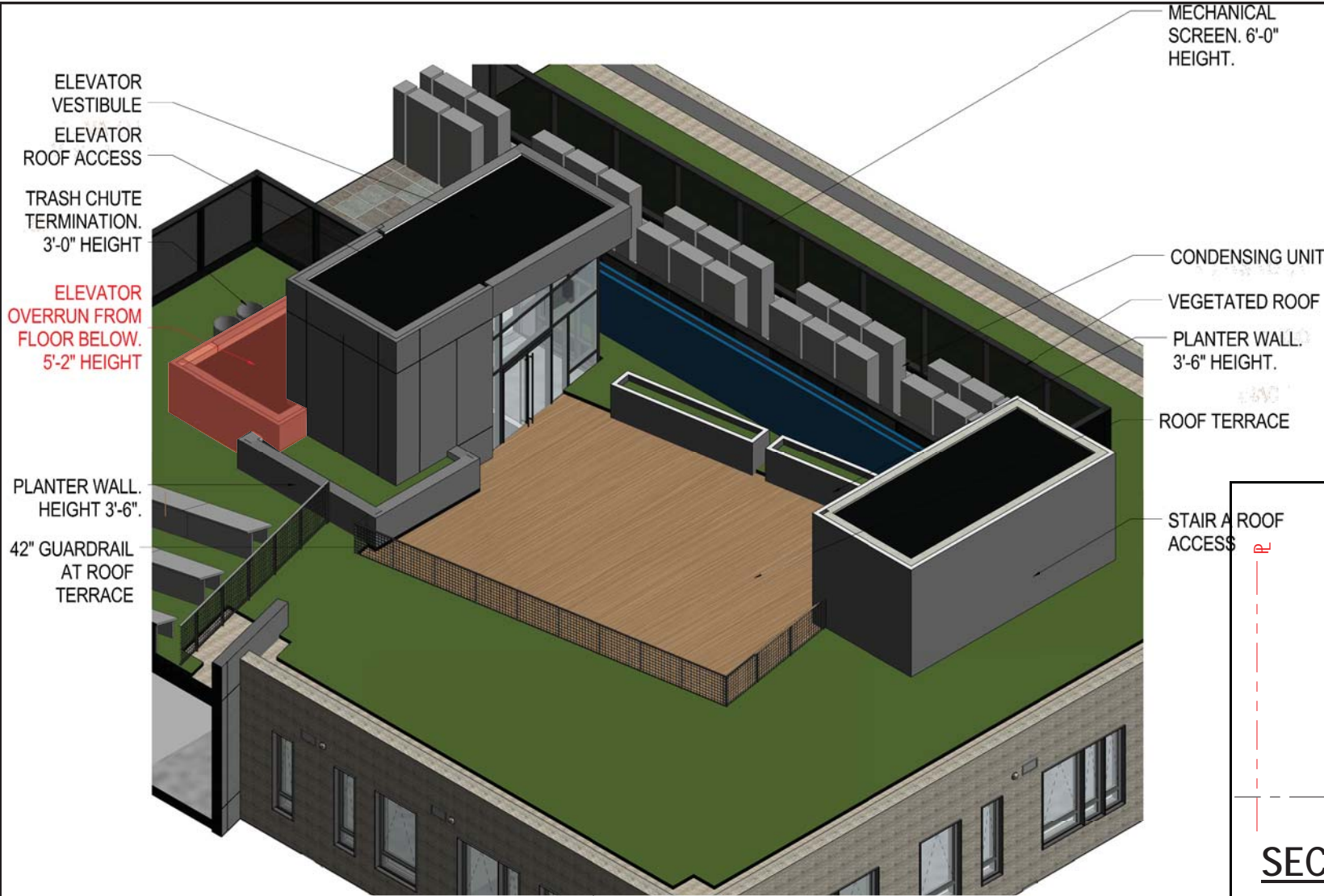
TOTAL BUILDING AREA @ GROUND LEVEL (AREA SHOWN IN BOTH PURPLE AND RED): 21,365 SQFT

PROPOSED OCCUPANCY (GROUND FLOOR ONLY): 89.9%

AREA EXCEEDING LOT OCCUPANCY LIMITATION (GROUND FLOOR ONLY): 2,373 SQFT

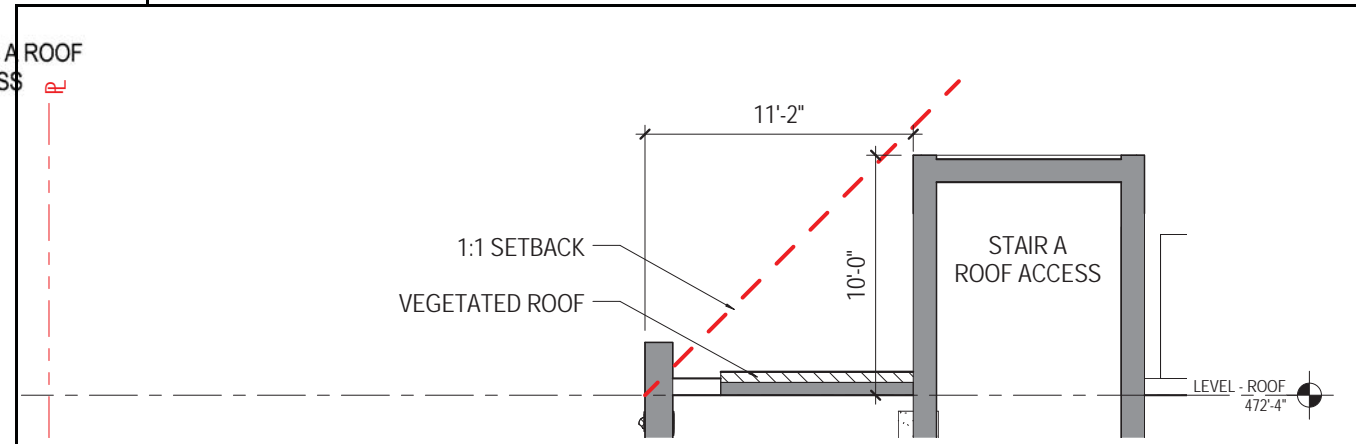
UPPER STORIES ALL COMPLY WITH LOT OCCUPANCY LIMITATION





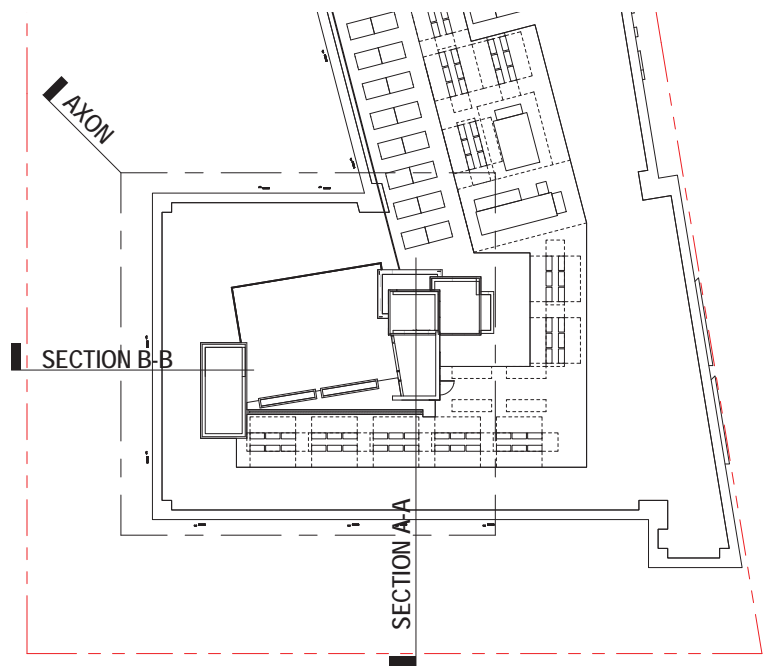
**UNIFORM HEIGHT**  
1500.9 ENCLOSING WALLS OF THE PENTHOUSE SHALL BE OF EQUAL, UNIFORM HEIGHT AS MEASURED FROM ROOF LEVEL.  
ELEVATOR OVERRUN HEIGHT: **5'-2" ABOVE ROOF SLAB**  
ELEVATOR ROOF ACCESS AND VESTIBULE HEIGHT: 15'-1 1/2" ABOVE ROOF SLAB

**PENTHOUSE SETBACKS**  
1502.1 PENTHOUSES, SCREENING AROUND UNENCLOSED MECHANICAL EQUIPMENT, ROOFTOP PLATFORMS FOR SWIMMING POOLS, ROOF DECKS, TRELLISES, AND ANY GUARD RAIL ON A ROOF SHALL BE SETBACK FROM THE EDGE OF THE ROOF UPON WHICH IT IS LOCATED AS FOLLOWS:  
(A) A DISTANCE EQUAL TO ITS HEIGHT FROM THE FRONT BUILDING WALL OF THE ROOF UPON WHICH IT IS LOCATED;  
(B) A DISTANCE EQUAL TO ITS HEIGHT FROM THE REAR BUILDING WALL OF THE ROOF UPON WHICH IT IS LOCATED;

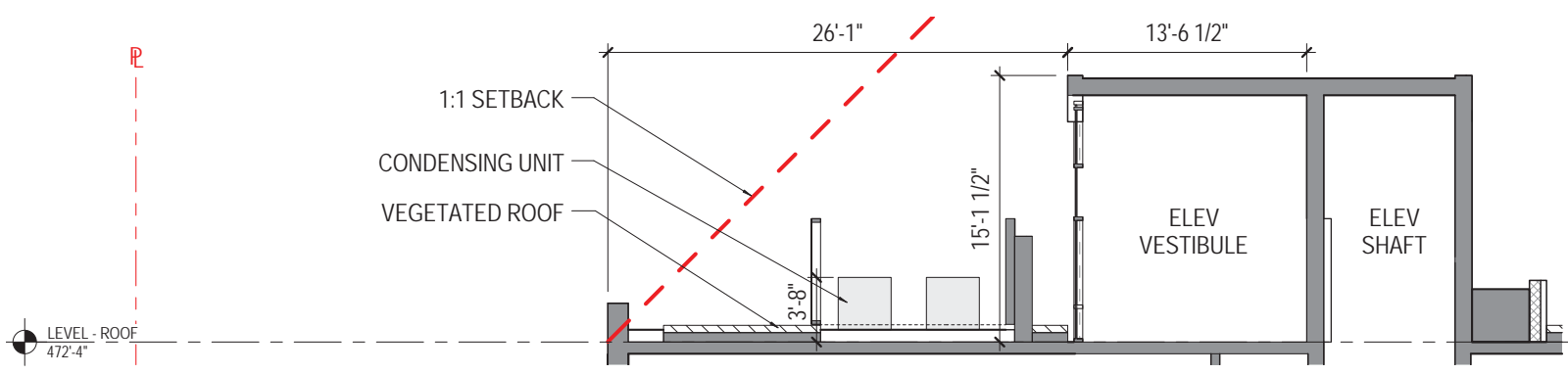


**SECTION B-B**

**STAIR A ROOF ACCESS:**  
MAXIMUM HEIGHT ALLOWED: 20'-0"  
PROPOSED HEIGHT FROM ROOF LEVEL : 10'-0"  
1:1 SETBACK REQUIRED: 10'-0"  
PROPOSED SETBACK: 11'-2"



**KEY PLAN - ROOF ACCESS**



**SECTION A-A**

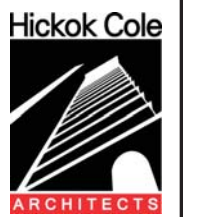
**ELEVATOR AND VESTIBULE ROOF ACCESS:**  
MAXIMUM HEIGHT ALLOWED: 20'-0"  
PROPOSED HEIGHT FROM ROOF LEVEL : 15'-1 1/2"  
1:1 SETBACK REQUIRED: 10'-0"





4620 WISCONSIN  
AVENUE NW

Square 1732  
Washington DC 20016



DATE:  
September 08, 2017

SUPPLEMENTAL PRE-  
HEARING SUBMISSION

TITLE:  
INTENTIONALLY  
BLANK

NUMBER:

A-24